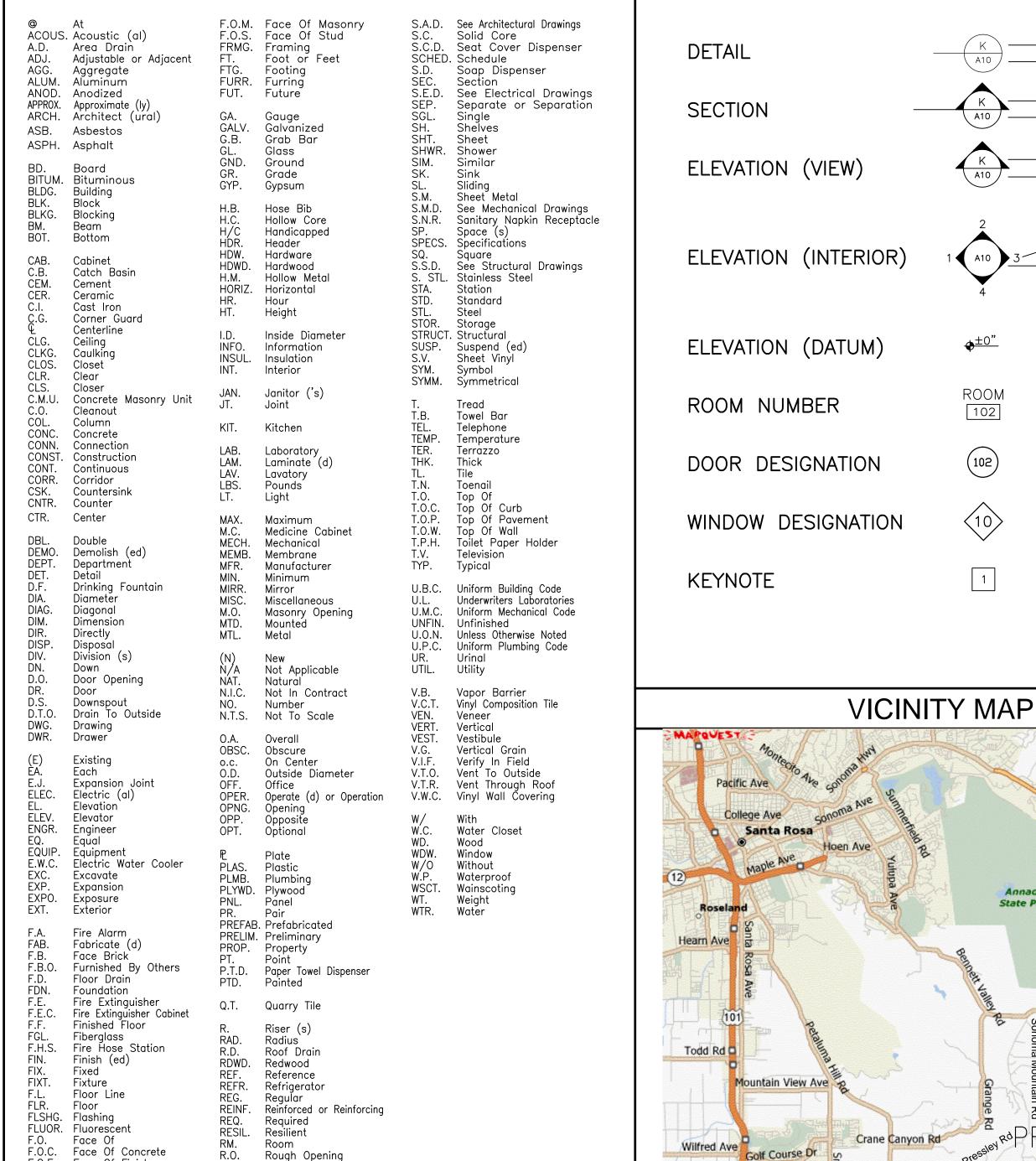
A Barn/Pool House for

ROBERT WORTH & MARGARET McCARTHY

4820 Pressley Road Santa Rosa, CA 95404



ABBREVIATIONS

Face Of Concrete

F.O.F. Face Of Finish

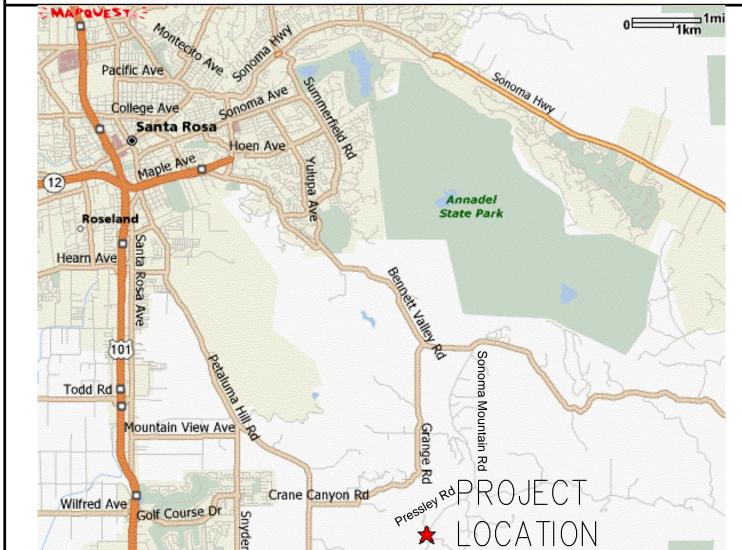
Rough Opening Rain Water Leader

R.W.L.

ARCHITECT: LEMMON-WOODRUFF ARCHITECTURE, INC. 826 St. Helena Avenue Santa Rosa, CA 95404 (707) 578-6393 (707) 578-4738 SAVE ENERGY CONSULTING 10555 Chalk Hill Road **ENERGY** Healdsburg, CA 95448 HOGAN LAND SERVICES 541 Farmers Lane Santa Rosa, CA 95405 102 **TELEPHONE:** (707) 544-2104 FACSIMILE: (707) 522–2105 STRUCTURAL TERRENCE LEE CONSULTING 1953 Seville Street **ENGINEER:** Santa Rosa, CA 95403-8121 $\langle 10 \rangle$ **TELEPHONE:** (707) 527-0592 (707) 570-2057 FACSIMILE:

CODE COMPLIANCE NOTES

CONSULTANTS



SYMBOLS LEGEND

All construction shall comply with the requirements of the latest edition of the California Building Code (CBC) and any and all other applicable codes as adopted by the local building department with jurisdiction, including the following:

The National Electrical Code (NEC)

The Uniform Electrical Code (UEC)

The Uniform Mechanical Code (UMC)

The Uniform Plumbing Code (UPC)

The Uniform Security Code (USC)

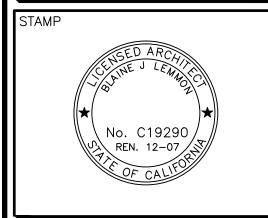
The California State Energy Standards

- Dimensions shall not be scaled from these drawings. Written dimensions shall govern. Conflicts within the drawings shall be brought to the immediate attention of the Architect. Any discrepancy or conflict between depicted conditions and field conditions shall be brought to the immediate attention of the Architect. All dimensions and field conditions shall be examined and verified prior to construction
- These drawings shall not be used for any other project in whole or in part by anyone not having a contract with the Architect or without the written consent of the Architect.

DESCRIPTION

826 St. Helena Avenue

Fax: 707-578-4738 www.lwarch.com



FIRE SAFE STANDARDS

SHEET INDEX

GENERAL

GRADING AND DRAINAGE

ARCHITECTURAL

STRUCTURAL

FOUNDATION PLAN & DETAILS

UPPER ROOF FRAMING & DETAILS

ELECTRICAL FLOOR PLANS

MECHANICAL & ELECTRICAL

TITLE 24 ENERGY COMPLIANCE DOCUMENTATION

BUILDING SECTION, ROOF PLAN & ATTIC VENT CALCULATION

SECOND FLOOR AND LOWER ROOF PLAN & DETAILS

COVER SHEET

TITLE SHEET

SITE PLAN

ELEVATIONS

FLOOR PLANS

BUILDING SECTIONS

GENERAL NOTES

TYPICAL DETAILS

A1.1

A2.0

A3.0

A3.1

S1.1

S1.2

S2.1

S2.2

S2.3

ME1.0

GRADING PLAN

Driveways: All driveways shall have a minimum traffic lane of 10 feet in width and 15 feet in vertical clearance. Driveways shall provide access within 150 feet of all portions of the exterior of the building. All driveways shall have a minimum live load capacity of HS20. Driveway slopes exceeding 10% shall be paved with a minimum of 2 inches of asphalt concrete.

- Premises Identification: All buildings shall have a postal address per the County overall system. Symbols shall be 4 inches in height with a 3/8 inch stroke. Said numbers shall be reflectorized and on contrasting background. Addresses shall be posted at the time of construction and shall be placed at the beginning of the driveway and visible from both directions of travel.
- Emergency Water Supply: In the absence of a recognized public water system, a minimum supply of 2500 gallons of water for fire fighting must be provided. Water shall be available from the tank through a Fire Department-approved connection (2-1/2) inchigate valve with a male nipple with National Standard threads). Delivery of water shall be via a minimum 4 inch water line. Emergency water supply shall be available previous to
- Hydrants: All hydrants shall provide 500 GPM at 20 psi residual. If the above flow cannot be provided the emergency water supply tank shall be increased in size by 1.5 minimum. All hydrants shall be 18 inches above ground. Vegetation shall be cleared from hydrant for a radius of 8 feet. It shall be no closer than 4 feet, nor farther than 12 feet, from the roadway. Hydrant shall be 60 to 150 feet from all buildings it is to serve, and be located such that using it will not block the roadway or driveway. All hydrants shall be protected with suitable crash protection and their access shall not be blocked. Hydrants along driveways shall have a 3 inch reflectorized blue marker located on the address sign and on a pressure treated post 3 to 5 feet above ground and within 3 feet of said
- Clearance of Flammable Vegetation: Maintain around all structures a fire break of not less than 30 feet on all sides of all flammable or combustible growth or to property line, whichever is nearer. Fire Safe Standards also require 10 feet clearance of flammable vegetation on each side of the road or driveway.

ROBERT WORTH & MARGARET McCARTHY

PROJECT FOR

PROJECT NAME

WORTH-McCARTHY BARN/POOL HOUSE

PROJECT ADDRESS

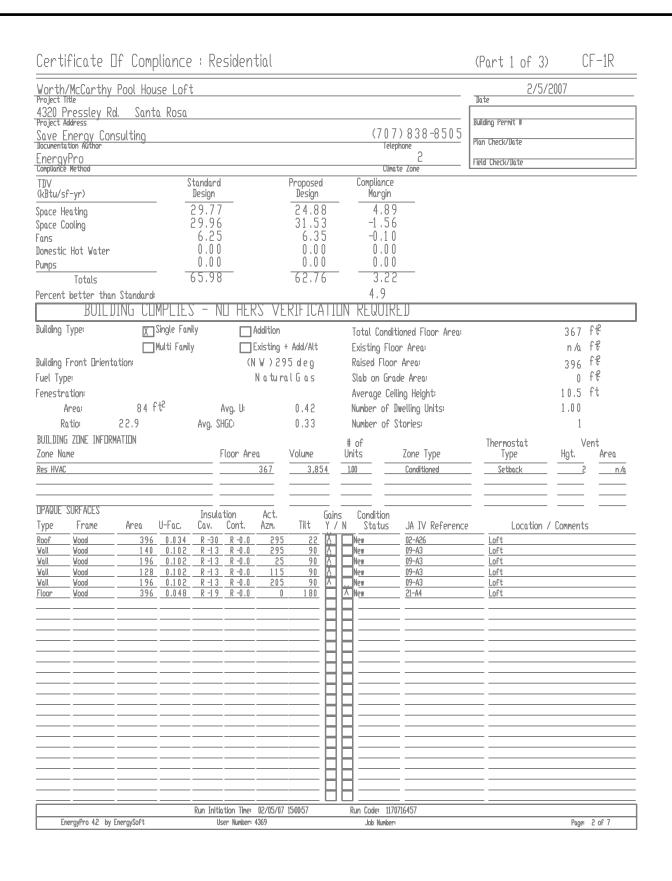
4820 Pressley Road Santa Rosa CA 95404

SHEET TITLE

COVER SHEET

OWNER 3 FROMEOT	NOMBLIX
PROPERTY NUMBER APN 049-101-048	DEVELOPMENT NUMBER
DDAWN	CLIECKED

	MSW
E 0/2007	SHEET NUMBER
LE SHOWN	G0.0
NUMBER	SHEET - OF -

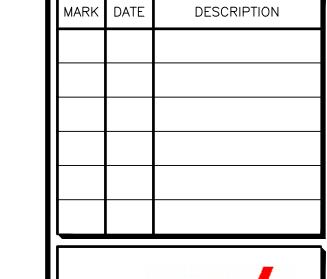


Worth/McC	arthy Pr	ool Hous	se I nf	ft									2	/5/2007		
Project Title	viij 1 v			. *									ate	. 3, 2007		_
FENESTRATION # Type	SURFACES		Area	ı U	-Facto	1	SHGC	z True Azm.	Tilt	Cond. Stat.	Glazing	Туре		cation/ mments		
1 Window 2 Window	Front Front	(NW) (NW)	9.0	0.420	N F R C		N FR C	295 295	90 New 90 New		er.Wood.Cl			oft oft		
3 Window Window	Left Left	(NE)	9.0	0.420	NFRC	0.33	N FR C	25	90 New 90 New	Оро	er.Wood.Cl er.Wood.Cl	ad.LowE	L	oft oft		_
5 Window	Rear	(SE)	9.0	0.420	NFRC	0.33	NFRC	115	90 New	Оро	er.Wood.Cl	a.d.LowE	L	oft		_
6 Window 7 Window	Rear Right	(SE)	9.0	0.420	NFRC	0.33	N FR C	115 205	90 New 90 New	Про	Dr.Wood.Cl er.Wood.Cl	ad.LowE	L	oft oft		
8 Window	Right	(ZM)	9.0	0.420	NFRC	0.33	NFRC	205	90 New	Про	er.Wood.Cl	adLowE	L	oft		
																_
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Indicate source	either from NF	RC or Table	116A.		2.	Indicate s	ource either	from NFRC	or Table 116B.							
NTERIOR AND	EXTERIOR	SHADING				Windo	w		□verho	เทด		l of	t Fin		Right Fin	
	rior Shade	Туре		SHGC	17	Hgt.	₩ Wd.	Len.	Hgt.	LExt.	RExt.		en. Hgt.	Dist.	Len.	Hg
Bug Scre	en en			0.7	76 76											_
Bug Scr	en			0.		3.0	3.0	1.8		1.8	1.8					
Bug Scro	een			0.		3.0	3.0	1.8	1.5	1.8	1.8_			_		_
Bug Scro				0.		3.0	3.0	1.8	1.5	1.8	1.8					=
Bug Scr				0.		3.0	3.0	1.8		1.8	1.8					_
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THERMAL MASS	S FUR HIGH			Thick.	Heat		Inside					Condition	Location/			
Гуре			(sf)		Сар.	Cond.	R-Val.	JA	IV Refere	ence		Status	Comments			
PERIMETER LO	23E2					 Insulat						Condition	Location/			
Туре		Len	gth	R-Val.		Locatio	n	JA	IV Refere	ence		Status	Comments			
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EngrovPn	o 4.2 by Enei	rovSoft			Heer Nu	nber: 4369			lo	ob Number:					Page: 3 of 7	

oft		2/5/2007	Worth/Mc Project Title	Carthy Pool House Lo	oft				2/5/ ite	/2007
rea U-Factor ¹ SHGC ² Azm.	Cond. Tilt Stat, Glazing Type	Date Location/ Comments	HVAC SYSTE		Heating Type	Minimum Eff	Cooling Type	Minimum Eff	Condition Status	Thermostat Type
	90 New Oper.Wood.Clad.LowE	Loft	Res HVAC		Gravity Wall Furnace	63AFUE	No Cooling	13.0 SEER	New	Setback
0.420 NFRC 0.33 NFRC 295	90 New Oper.Wood.Clad.LowE 90 New Oper.Wood.Clad.LowE	Loft Loft								
0.420 NFRC 0.33 NFRC 25	90 New Oper.Wood.Clad.LowE 90 New Oper.Wood.Clad.LowE	Loft Loft	HVAC DISTRI	BUTION			Durch	Donah	Condition	Durche
0.420 NFRC 0.33 NFRC 115	0 New Fr.Dr.Wood.Clad.LowE	Loft	Location		Heating	Cooling	Duct Location	Duct R-Value	Condition Status	Ducts Tested?
	30 New Open-Wood/Clad.LowE 30 New Open-Wood/Clad.LowE	Loft Loft	Res HVAC		Ductless / No Fan	Ducted	Attic	6.0	New	No
			Hydronic Pip	ning Pino	Pino	 Insul,				
			System Nam	- Libe	Pipe Diameter	Thick.				
				INC CACLENC						
					Water Heater		Rated Tank # in Input Cap. Syst. (Btu/hr) (gal)	Condition	Energy Factor S	Tank Insul tandby R-Value
2. Indicate source either from NFRC or	Table 116B.		System Name		Туре	Distribution	Syst. (Btu/hr) (gal)	Status	or RE L	oss () Ext.
Window		Left Fin Right Fin	Mul+i-Contly	 Central Water Heating Det	tolls					
SHGC Hgt. Wd. Len.	Hgt. LExt. RExt. Dist.	Len. Hgt, Dist, Len. Hgt,	•	Hot Water I			Hot Water Piping Length (f	t)	Add 1/2"	
0.76 0.76 3.0 3.0	1.5 1.8 1.8		Control		# HP	Type I	n Plenum 🛮 🛮 🗓 utside	Buried	Insulation	
<u>0.76</u> <u>3.0</u> <u>3.0</u> <u>1.8</u>	1.5 1.8 1.8									
0.76			REMARKS							
$\begin{array}{c cccc} \hline 0.76 & 3.0 & 3.0 & 1.8 \\ \hline 0.76 & 3.0 & 3.0 & 1.8 \end{array}$	1.5 1.8 1.8 1.5 1.8 1.8									
			COMPLIANCE This certificat	e of compliance lists the building	features and specif	ications needed to comply w	with Title 24, Parts 1 and 6 of th	California Cod	e of	
			Regulations, ar The undersione	nd the administrative regulations ed recognizes that compliance usi	to implement them.	This certification of ref	ate has been signed by the individing rigerant charge and TXVs, insulater an approved HERS rater.	ual with overallion installation	design responsibility auality.	
						ion and field verification by	an approved HERS rater.		4	
			Designer or Di Name:	mer (per Business & Pro	fessions Code)		Documentation Author Name: Skeer			
				Lenmon-Woodruff Architure, Inc	С.		Title/Firm Save Energy Co	onsulting		
			Address	826 St. Helena Rd.			Address: 10555 Chalk Hill			
Thick, Heat Inside	Conditio		Telephone:	Santa Rosa, CA 95404 707-578-6393	Lic. #		Telephone: Healdsburg, CA (707) 838-8505	73448		
(in,) Cap, Cond, R-Val, JAIV	/ Reference Status	5 Comments								
			(signature)			(date)	(signature)		~ E	(data
			Enforcement A	gency					ADICA	
			Name: Title/Firm:				Califo	mia Associatio	n of Building Energy	Consultants
Insulation R-Val, Location JA IV	Conditio / Reference Status	n Location/ 5 Comments	Address				CEF	ecolor who less to contact the	ENERGY AN	VALYST
N 400	- THE ET	Connerto	Telephone:				-			7 1
									Kee	2
			(signature)			(date)				
Run Initiation Time: 02/05/07 15:00:57	Run Code: 1170716457		Francis	Dec 42 by Franciscost		e: 02/05/07 15:00:57	Run Code: 1170716457			D 4 of 7
User Number: 4369	Job Number:	Page: 3 of 7	Energy	Pro 4.2 by EnergySoft	User Numb	77 7307	Job Number:			Page: 4 of 7

Certificate Of Compliance : Residential

(Part 3 of 3) CF-1R



Lemmon-Woodruff Architecture, Inc.

ARCHITECTURE, PLANNING AND DEVELOPMENT

Santa Rosa, CV 92404

Lel: 407-248-6363

Eas: 407-248-6383

Eas: 407-2



PROJECT FOR

ROBERT WORTH & MARGARET McCARTHY

PROJECT NAME

WORTH-McCARTHY BARN/POOL HOUSE

PROJECT ADDRESS

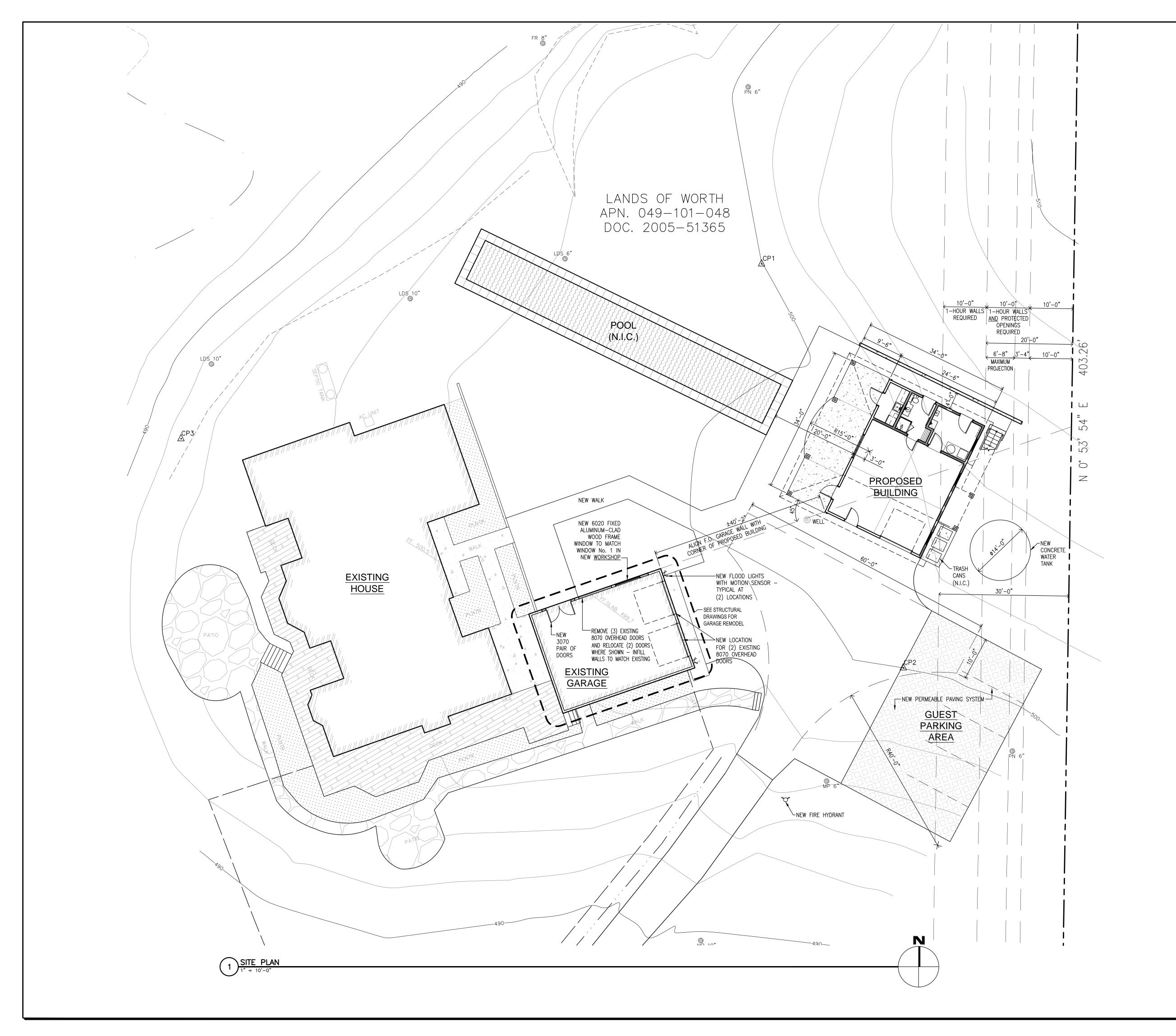
4820 Pressley Road Santa Rosa CA 95404

SHEET TITLE TITLE 24 ENERGY COMPLIANCE DOCUMENTATION

OWNER'S PROJECT	NUMBER
PROPERTY NUMBER APN 049-101-048	DEVELOPMENT NUMBER
DRAWN EP	CHECKED MSW
DATE 2/20/2007	SHEET NUMBER
SCALE AS SHOWN	G0.1

NOTE:	Lowise residential buildings subject to the Standards must contain these neasures regardless of the compliance approach used. More stringen requirements from the Certificate of Compliance supercede the items marked with an asterisk (**) below. When this checklist is incorporated into documents, the features noted shall be considered by all parties as minimum component performance specifications for the mandatory measures they are shown elsewhere in the documents or on this checklist only.	the permit		
DESCR1	PTION Check or initial applicable boxes or check NA if not applicable and included with the permit application documentation.	M/A	DEGICHED	ENFORCE-
Buildin	Envelope Measures	N/A	DESIGNER	HENT
* 150(a):	Minimum R-19 in wood celling insulation or equivalent U-factor in metal frame celling.	П	Х	П
	Loose fill insulation manufacturer's labeled R-Value			
×	Minimum R-13 wall insulation in wood framed walls or equivalent U-factor in metal frame walls (does not		X	
13000	apply to exterior mass walls).		ث	
# 150(d):	Minimum R-13 raised floor insulation in framed floors or equivalent U-factor.		X	
150(e):	Installation of Fireplaces, Decorative Gas Appliances and Gas Logs.			
	1. Masonry and factory-built fireplaces have			
	a. closable netal or glass door covering the entire opening of the firebox			
	 outside air intake with danger and control, flue danger and control No continuous burning gas pilot lights allowed. 			님
1E0/0\-				
	Air retarding wrap installed to comply with 151 neets requirements specified in the ACM Residential Manual.			
150(g):	Vapor barriers mandatory in Climate Zones 14 and 16 only.			
150(D:	Slab edge insulation - water absorption rate for the insulation alone without facings no greater than 0.3, water vapor permeance rate no greater than 2.0 perm/inch.			
118: In	sulation specified or installed neets insulation installation quality standards. Indicate type and include OF-6R Form		X	
116-17:	Fenestration Products, Exterior Doors, and Infiltration/Exfiltration Controls.			
	1. Doors and windows between conditioned and unconditioned spaces designed to linit air leakage.		X	
	Fenestration products (except field fabricated) have label with certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration certification.		X	
	3. Exterior doors and windows weatherstripped; all joints and penetrations coulked and sealed.		X	
Space	Conditioning, Water Heating and Plumbing System Measures			
110-13:	HVAC equipment, water heaters, showerheads and faucets certified by the Energy Commission.			
150(h):	Heating and/or cooling loads calculated in accordance with ASHRAE, SMACNA or ACCA.		X	
150©:	Setback thermostat on all applicable heating and/or cooling systems.		X	
150(j):	Water system pipe and tank insulation and cooling systems line insulation.			
	 Storage gas water heaters rated with an Energy Factor less than 0.58 must be externally wrapped with insulation having an installed thermal resistance of R-12 or greater. 			
	Back-up tanks for solar systems, unfired storage tanks, or other indirect hot water tanks have R-12 external insulation or R-16 internal insulation and indicated on the exterior of the tank showing the R-value.			
	3. The following piping is insulated according to Table 150-A/B or Equation 150-A Insulation Thickness:			
	1. First 5 feet of hot and cold water pipes closest to water heater tank, non-recirculating systems, and entire length of recirculating sections of hot water pipes shall be insulated to Table 150B. 2. Cooling system piping (sacution, childen dater, or brine lines), piping insulated between heating source and indirect hot water tank shall be insulated to Table 150-B and Equation 150-A.			
	4. Steam hydronic heating systems or hot water systems > 15 psi, meet requirements of Table 123-A.			
	Insulation must be protected from damage, including that due to sunlight, maisture, equipment maintenance, and wind.			
	Insulation for chilled water piping and refrigerant suction piping includes a vapor retardant or is enclosed entirely in conditioned space.			
	7. Solar water-heating systems/collectors are certified by the Solar Rating and Certification Corporation.			

, , , , , , , , , , , , , , , , , , ,	ures Summary:			2 of 2)		F-1R
compliance requirements into the permit documen	from the Certificate of Compliants, the features noted shall be	ice supercede the items marked with an	of the compliance approach used. More st asterisk (*) below. When this checklist is mponent performance specifications for the	incorporated		
ESCRIPTION	Instructions: Check or initi	al applicable boxes when completed	or check N/A if not			ENFORCE-
	applicable.		, , , , ,	N/A	DESIGNER	MENT
pace Conditioning, W	ater Heating and P	umbing System Measures	: (continued)			
605, and Standard 6 R-4.2 or enclosed en that meets the appli	-5; supply-air and return-air du itirely in conditioned space. Open icable requirements of UL 181, UL c or tape is used to seal openir	d to meet the requirements of the CNC ts and plenums are insulated to a minur mings shall be sealed with mastic, tape 181A, or UL 181B or aerosol sealant th gs greater than 1/4 inch, the combination	num installed level of ir other duct-closure system at neets the requirements			
sealed sheet metal, o support platforms m	duct board or flexible duct shal	s, and plenums defined or constructed not be used for conveying conditioned in cavities and support platforms shall	air. Building cavities and			
	of duct systems and their comp uch tape is used in combination (onents shall not be sealed with cloth bo ith mastic and draw bands.	ack rubber adhesive			
4. Exhaust fan syste	ens have back draft or automat	c danpers.				
5. Gravity ventilating dampers.	systems serving conditioned spo	ce have either automatic or readily acc	cessible, manually operating			
maintenance, and wind	d Cellular foam insulation shall b	cted from danage, including that due to e protected as above or painted with a n that can cause degradation of the mo	coating that is water			
7. Flexible ducts co	nnot have porous inner cores.					
114: Pool and Spa Heating Syste	ems and Equipment					
		ce Efficiency Regulations, on-off switch ctric resistance heating and no pilot lig				
2. System is installed						
	f pipe between filter and heater	for future solar heating.		님		
	loor pools or outdoor spas.			ᆜ		
3. Pool system has d	lirectional inlets and a circulation	n pump time switch.				
		aters or household cooking appliances ho appliances with pilot (150 Btu/hr)	ave no continuously		X	
118 (D: Cool Roof material meets	specified criteria					
ighting Measures				_		
150-C, and do not co	S OTHER THAN OUTDOOR HID: cont ontain a medium screw base socke 1 output frequency no less than	ain only high efficacy lamps as outlined t (E24/E26). Ballasts for lamps 13 Wat 20 kHz.	in Table ts or greater are		X	
150(k)1: HIGH EFFICACY LUMINAIRE	S - DUTDOOR HID: contain only h / installed HID ballast.	gh efficacy lamps as outlined in Table 19	50-C,			
150(k)2: Permanently installed lui in Section 130(c), of	minaires in kitchens shall be high permanently installed luminaires i	efficacy luminaires. Up to 50103016672f n kitchens may be in luminaires that are	not high efficacy luminaires,			
150(k)3: Permanently installed lu OR are controlled by	minaires in bathrooms, garages, lo o an occupant sensor(s) certfied		efficacy luminaires.			
controlled by an occ	minaires located other than in ki y luminaires (except closets less cupant sensor that complies with	chens, bathrooms, garages, laundry room than 70 ft) DR are controlled by a dim Section 119(d) that does not turn on a	ns, and utility rooms omer switch OR are uutomatically or have an		X	
always on option. 150(k)5: Luninaires that are rec certified to ASTM E2	essed into insulated ceilings are 83 and labeled as air tight (AT)	approved for zero clearance insulation to less than 2.0 CFM at 75 Pascals.	cover (IC) and are		X	
same lot shall be hig	ih efficacy luminaires (not includi	unted to a residential building or to oth ng lighting around swiming pools/water f s with integral photo control certified	features or other Article			
150(k)7: Lighting for parking lot: Lighting for parking	s for 8 or more vehicles shall h garages for 8 or more vehicles	ave lighting that complies with Sections shall have lighting that complies with Se	130, 132, and 147. ection 130, 131, and 146.			
		g spaces of low-rise residential building controlled by occupant sensor(s) certi				
ergyPro 4.2 by EnergySoft	User Number	: 4369	Job Number:		Pages	6 of 7



SITE PLAN NOTES

- Surface water shall be drained away from structure.
 Provide 1/4" per foot of slope for minimum of 4 feet from building.
- 2. Topographic and existing site information taken from a survey done by Hogan Land Services, dated 12—12—2006.
- 3. Elevation datum is assumed, unless otherwise noted
- 4. The property lines shown herein are compiled from record data and neither represent a boundary survey nor the actual location of same.
- 5. Contractor shall verify grades, property lines and improvement locations prior to construction.
- 6. Contractor shall protect existing plants to be retained from damage due to construction work or related
- 7. Provide 4" diameter rigid PVC perforated pipe at all uphill sides of footings and retaining walls. Pipe shall be surrounded by 1 cubic foot of clean drain rock for every lineal foot of pipe and shall be surrounded by "Geo—Textile" fabric, or equal. Drain pipe shall slope to drain to daylight at gravel drywell, to an approved storm drain pipe, or slope—protection rock—apron.
- 8. All pipes carrying roof or ground water in areas not intercepting water shall be solid.
- 9. Connect all downspouts to separate solid 4" diameter pipe and drain to daylight, at approved storm drain, gravel drywell or slope—protection rock—apron as required.
- 10. No guarantee is intended that underground obstructions shown or not shown on the drawings may or may not be encountered. The locations of existing underground utilities as shown on the drawings are approximate and for informational purposes only.
- Contractor shall locate and protect existing utilities from damage due to construction work or related conditions.
- 12. All on—site sewer, water and gas construction shall conform to the latest edition of the Uniform Plumbing Code (UPC) and any and all other requirements as adopted by the local building department and all other agencies having jurisdiction.
- 13. Contractor shall verify invert elevation of any existing waste and/or storm drain connection point and make adjustments as necessary to proposed systems.
- 14. Site excavation and grading shall comply with Chapter 33,

DESCRIPTION

MARK DATE

Lemmon-Woodruff Architecture, Ir.

ARCHITECTURE, PLANNING AND DEVELOPME
Sauta Bosa, CA 95404

Lel: 207-228-933

Eax: 407-228-4238

Ammiliar Moodruff Architecture, Ir.

ARCHITECTURE, PLANNING AND DEVELOPME

Sauta Bosa, CA 95404

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Ammiliar Moodruff Architecture, Ir.

And Ammiliar Moodruff

PROJECT FOR

ROBERT WORTH & MARGARET McCARTHY

PROJECT NAME

WORTH-McCARTHY BARN/POOL HOUSE

PROJECT ADDRESS

4820 Pressley Road Santa Rosa CA 95404

SHEET TITLE

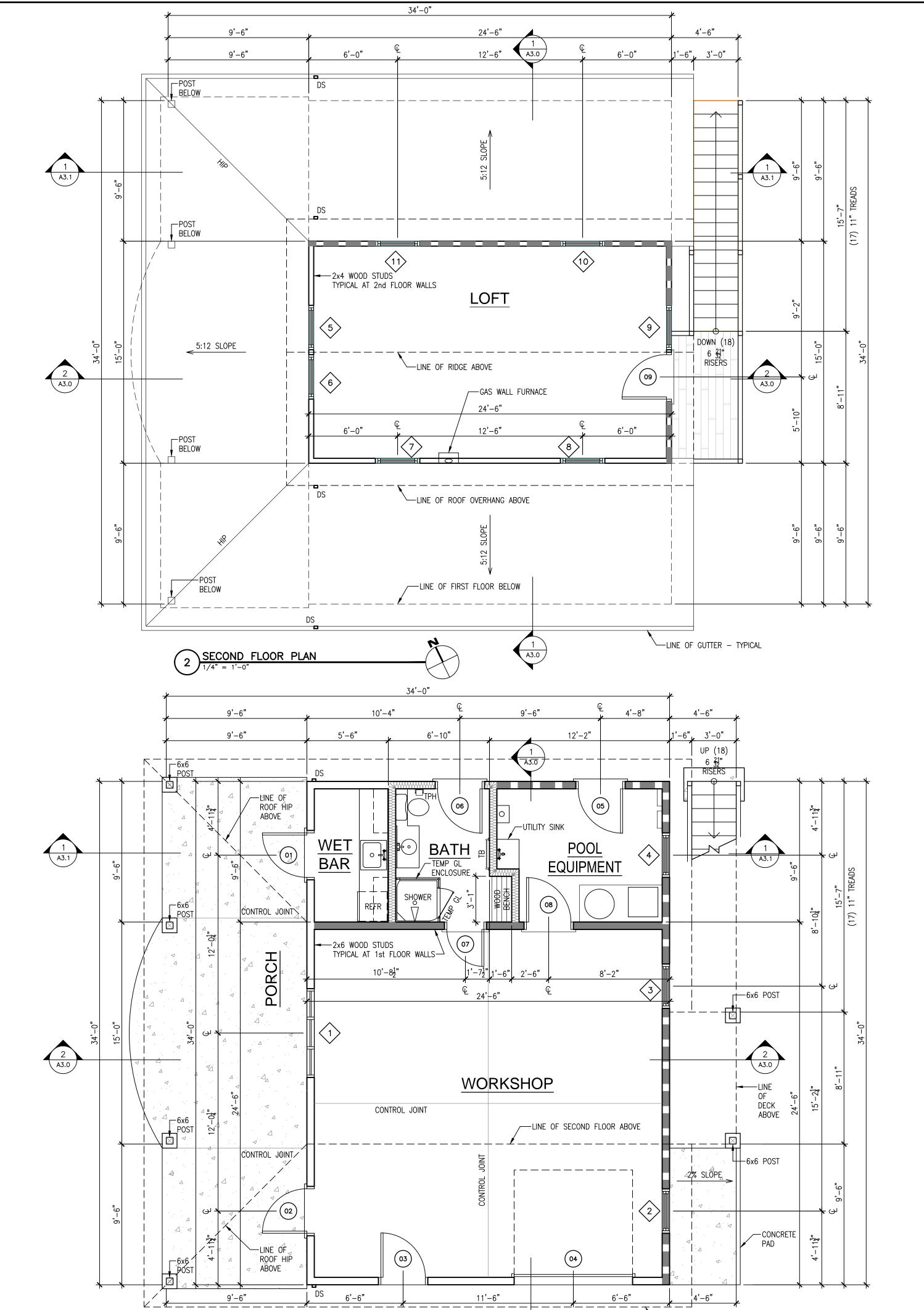
SITE PLAN

ROPERTY NUMBER	DEVELOPMENT	NUMBE
PN 049-101-048		

OWNER'S PROJECT NUMBER

DRAWN EP	CHECKED MSW
DATE 2/20/2007	SHEET NUMBER
SCALE AS SHOWN	A1.0
JOB NUMBER	

SHEET - OF -



DOOR SCHEDULE - 2ND STORY DOOR DOOR SIZE MARK WD HGT THK MATL GLAZING GLAZING FIRE RATING LABEL NOTES COLOR BY OWNER

09 3'-0" 7'-0" 1 3/4" ALUMINUM-CLAD WOOD FRAME DOUBLE GLAZED, LOW-E, TEMP GLASS WINDOW SCHEDULE - 2nd FLOOR

	MARK SIZE WIDTH HE		IZE	TYPE	MATERIAL	NOTES
			HEIGHT	ITTE WATERIAL		NOTES
	5	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
	6	3'-0"		DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
	7	3'-0 "		DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
	8	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
	9	3'-0"	3'-0"	DOLIBI E-HIING	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E, TEMP
	9	,				GLASS
	10	3 ' -0 "	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
	11	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS

WALL TYPE LEGEND - 2nd FLOOR

TYPICAL 2nd FLOOR EXTERIOR WALL:
INTERIOR SIDE: \(\frac{1}{2}\)" GYPSUM BOARD OVER

INTERIOR SIDE: $\frac{1}{2}$ " GYPSUM BOARD OVER 2x4 WOOD STUDS AT 16" O.C WITH R-13 FIBERGLASS BATT INSULATION.

EXTERIOR SIDE: \(\frac{3}{4}\)" RABBETED BEVEL WOOD SIDING OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO STUDS.

ONE HOUR FIRE RATED WALL ASSEMBLY PER CBC TABLE 7-B, ITEM

18-1.1:
INTERIOR SIDE: §" TYPE 'X' GYPSUM BOARD APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 6d COOLER OR WALLBOARD NAILS AT 7" O.C. WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH

EXTERIOR SIDE: $\frac{3}{4}$ " RABBETED BEVEL WOOD SIDING NAILED WITH 9d GALVANIZED SMOOTH BOX NAILS OVER $\frac{1}{2}$ " GYPSUM SHEATHING NAILED WITH 2 $\frac{1}{4}$ " x No. 11 GAGE x $\frac{7}{16}$ " HEAD GALVANIZED NAILS AT 8" O.C. OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO 2x4 WOOD STUDS AT 16" O.C.

WINDOW SCHEDULE - 1st FLOOR

MARK	SIZE		TYPE	MATERIAL	NOTES	
IVIAIN	WIDTH	HEIGHT	1175	WATERIAL	NOTES	
1	6'-0"	2'-0"	FIXED	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS	
2	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS	
3	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS	
4	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS	

WALL TYPE LEGEND - 1st FLOOR

TYPICAL 1st FLOOR EXTERIOR WALL: INTERIOR SIDE: $\frac{1}{2}$ " GYPSUM BOARD OVER 2x6 WOOD STUDS AT 16" O.C. (INSTALL R-21 FIBERGLASS BATT INSULATION AT <u>BATH</u> WALLS).

EXTERIOR SIDE: 3 RABBETED BEVEL WOOD SIDING OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO STUDS.

ONE HOUR FIRE RATED WALL ASSEMBLY PER CBC TABLE 7-B, ITEM 18-1.1:
INTERIOR SIDE: §" TYPE 'X' GYPSUM BOARD APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 6d COOLER OR WALLBOARD NAILS AT 7"

EXTERIOR SIDE: $\frac{3}{4}$ " RABBETED BEVEL WOOD SIDING NAILED WITH 9d GALVANIZED SMOOTH BOX NAILS OVER $\frac{1}{2}$ " GYPSUM SHEATHING NAILED WITH 2 $\frac{1}{4}$ " x No. 11 GAGE x $\frac{7}{16}$ " HEAD GALVANIZED NAILS AT 8" O.C. OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO 2x6 WOOD STUDS AT 16" O.C.

O.C. WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH

ONE HOUR FIRE RATED WALL ASSEMBLY PER CBC TABLE 7-B, ITEM

2x6 WOOD STUDS AT 16" O.C. WITH \$" TYPE 'X' GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 6d COOLER OR WALLBOARD NAILS AT 7" O.C. WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH SIDE. (INSTALL R-21 FIBERGLASS BATT INSULATION AT BATH WALLS).

<u>1YPICAL INTERIOR WALL:</u> 2x6 WOOD STUDS AT 16" O.C. WITH $\frac{1}{2}$ " GYPSUM BOARD EACH SIDE (INSTALL R-21 FIBERGLASS BATT INSULATION AT <u>BATH</u> WALLS).

-LINE OF ROOF OVERHANG ABOVE

1st FLOOR AREA = 833 SQ. FT. 2nd FLOOR AREA = 367.50 SQ. FT. TOTAL AREA = 1200.50 SQ. FT.

A3.0

FLOOR PLAN NOTES

- 1. Stair riser heights shall be between a minimum of 4" and a maximum of 8", with a maximum variation between riser heights of 3/8". Stair treads shall be no less than 9" minimum in depth. Handrails shall be between a minimum of 34" and a maximum of 38" above tread nosing. Stair width shall be a minimum of 36" and minimum headroom clearance shall be 6'-8".Guardrails shall have a minimum height of 36", with a 4" maximum opening (CBC Chapter 10).
- 2. Common walls and ceiling between garage and dwelling shall have 5/8" type "X" gypsum board on garage side, with a 1-3/8" solid core, self-closing door to house (CBC Chapter 3).
- 3. Provide pressure relief valve (P.R.V.) with drain to outside (D.T.O.) for water heater (UPC).
- 4. Showers and tubs with showers require a non-absorbent surface up to 70" above the drain inlet. Provide curtain rod or approved enclosure material (CBC Chapter 8).
- 5. When gypsum board is used as a base for tile or wall panels in tub and/or shower enclosures and water closet compartment walls (see Chapter 8, CBC) water—resistant gypsum backing board shall be used (CBC Chapter 25).
- 6. Pre-manufactured items including, but not limited to, fireplaces, wood-burning stoves, fixtures, equipment and appliances shall be installed as per manufacturer's
- 7. Water closets shall be located in a space not less than 30" in width with 24" minimum clearance in front (CBC Chapter 29).
- 8. Contractor shall verify in field (V.I.F.) exact window dimensions, rough opening sizes and all glazing requirements prior to placing order with window manufacturer.

WALL FRAMING NOTES

- 1. Protect exposed framing with 2 coats of an approved wood preservative.
- Fireblock at ceilings, floors, furred—down ceilings, showers, soffits and at concealed draft openings not to exceed 10 ft. maximum in both vertical and horizontal directions (CBC Chapter 7).
- 3. Provide approved building paper under lapped siding and approved flashing at exterior openings (CBC Chapter
- 4. Nailing shall be of corrosion resistant type for exterior walls (CBC Chapter 23).

ROOF FRAMING NOTES

- 1. Provide attic ventilation: 1/150 of attic area; or 1/300 if 50% of vents are 3 ft. above eave and balance are at eave (CBC Chapter 15). Baffles are required at vents for insulation.
- 2. Enclosed rafter spaces shall have cross ventilation (1" minimum clear) (CBC Chapter 15).
- 3. Provide minimum 22"x30" attic access opening with a minimum of 30" clear headroom above opening. Attics with a maximum vertical clear height of less than 30" need not be provided with access openings (CBC Chapter 15).
- 4. Roof construction and covering shall comply with CBC Chapter 15 and local ordinances.

DESCRIPTION

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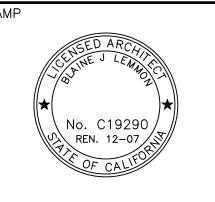
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PROJECT FOR

ROBERT WORTH & MARGARET McCARTHY

PROJECT NAME

WORTH-McCARTHY
BARN/POOL HOUSE

4820 Pressley Road Santa Rosa CA 95404

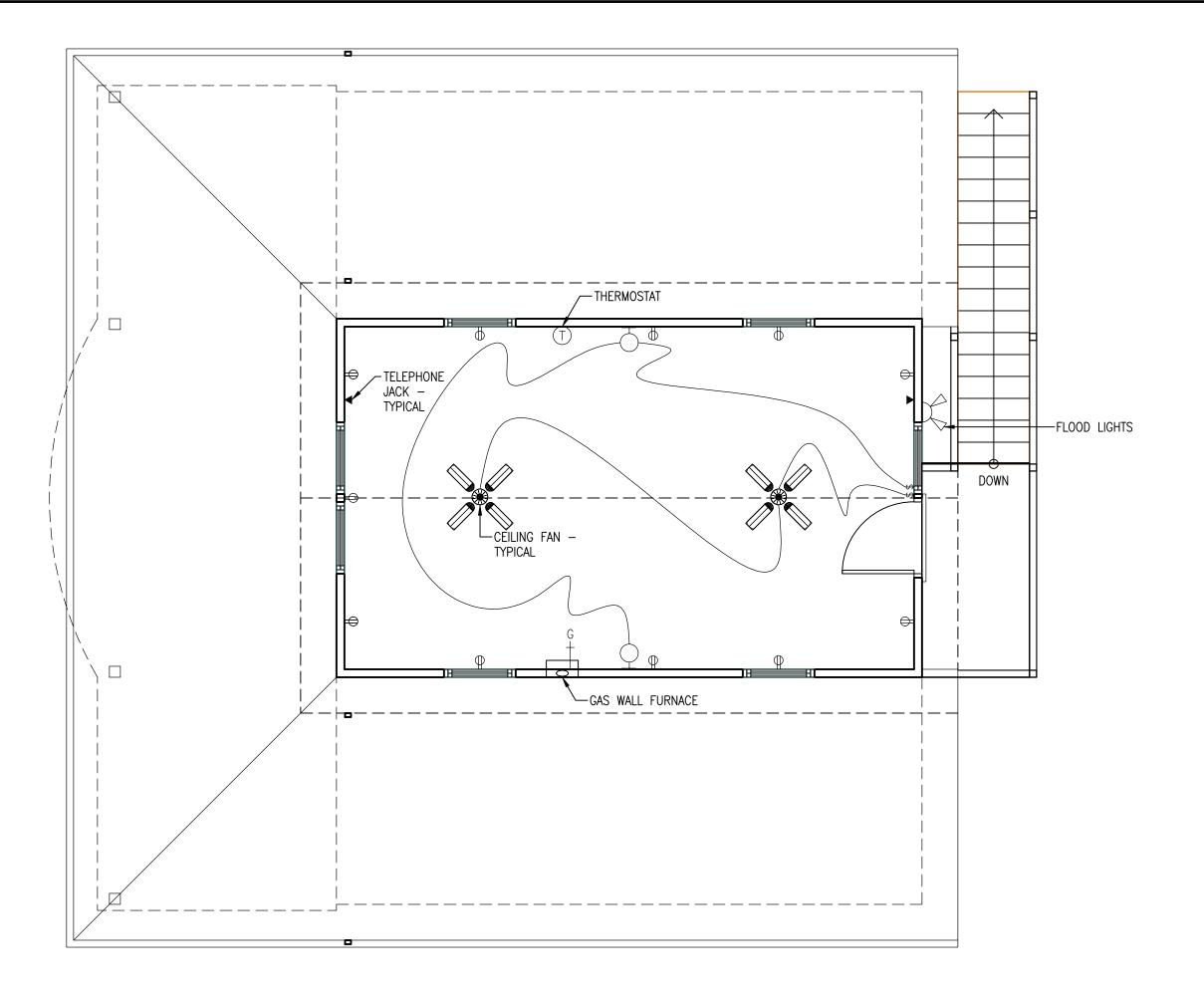
PROJECT ADDRESS

SHEET TITLE

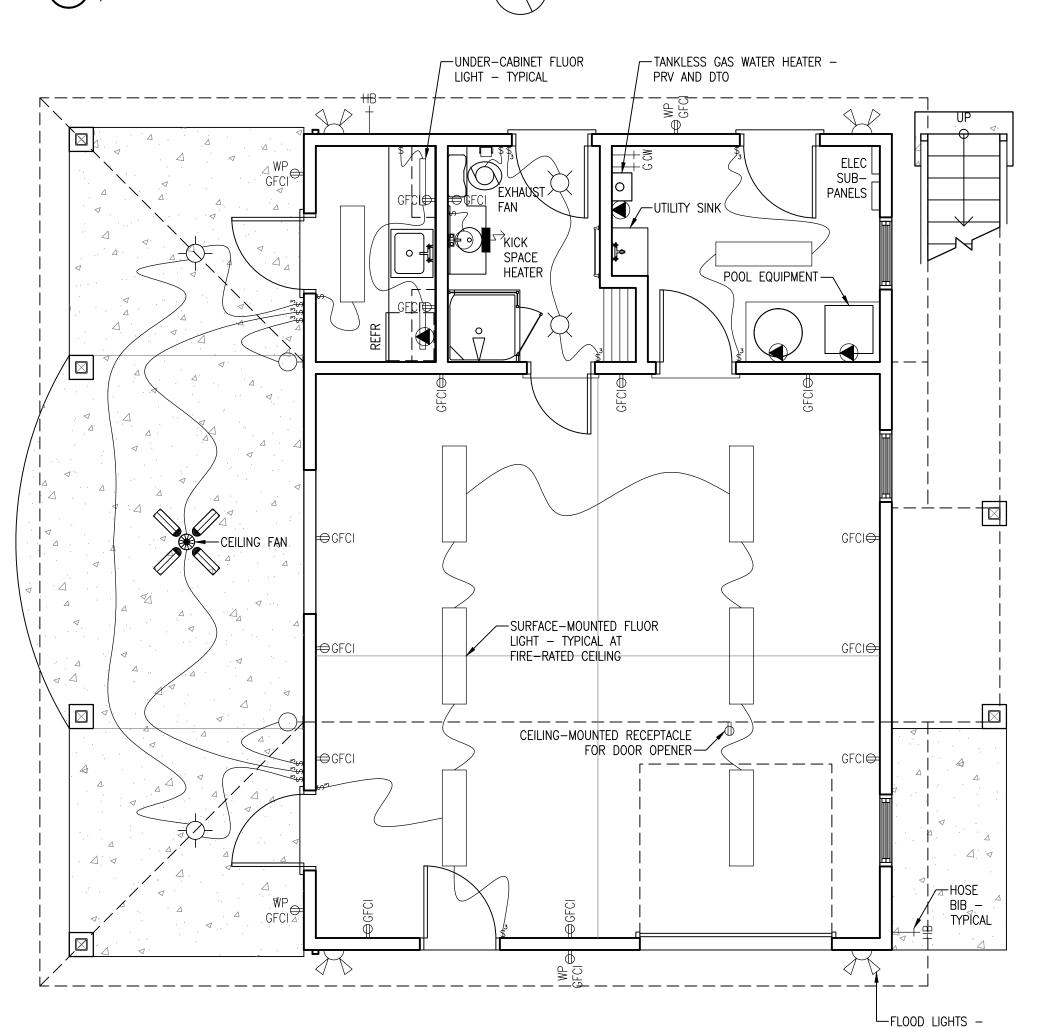
FLOOR PLANS

OWNER'S PROJECT	NUMBER
PROPERTY NUMBER APN 049-101-048	DEVELOPMENT NUME

EP	MSW
DATE 2/20/2007	SHEET NUMBER
SCALE AS SHOWN	A1.1
JOB NUMBER 0616	SHEET - OF -







FIRST FLOOR ELECTRICAL PLAN

INSTALL 220 VOLT ELECTRICAL SERVICE TO THE NEW WORKSHOP. POOL EQUIPMENT SUBPANEL MUST BE TIED INTO THE MAIN PANEL AT THE EXISTING HOUSE. CONTRACTOR SHALL VERIFY ELECTRICAL, LIGHTING AND TELEPHONE REQUIREMENTS AND LAYOUT WITH OWNER PRIOR TO PURCHASING AND INSTALLATION.

TYPICAL

ELECTRICAL, MECHANICAL AND PLUMBING NOTES

- 1. Do not install electrical panels larger than 100 sq. in. in fire walls. Never install electrical panels in closets. Place nothing within 36" of the front of panels.
- 2. Kitchens must have a minimum of two 20 amp circuits. Kitchen counter outlets must be installed in every counter space 12" or wider, not greater than 4' o.c. and within 24" of the end of any counter space.
- 3. GFCI outlets must be installed within 6' of kitchen sinks, in bathrooms, in underfloor spaces, in exterior outlets with direct access to grade and in all garage outlets not dedicated to a single device or appliance. Provide at least two exterior outlets.
- 4. Receptacles must not be installed above baseboard
- 5. Receptacles must be installed at 12' o.c. maximum in walls. Walls longer than 2' and halls 10' or longer must have a receptacle.
- 6. Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of an approved
- 7. Provide antisiphon valves on all hose bibs (CPC).
- 8. Provide combustion air for all gas fired appliances as per UMC and UPC.
- 9. Plumbing contractor shall consolidate vents into a minimal amount of roof penetrations.
- 10. Appliances and receptacles installed in garage generating a glow, spark or flame shall be located 18" above floor. Provide protective barrier from cars (UMC)
- 11. Light fixtures in tub and shower areas shall be labeled "suitable for damp locations."
- 12. Electrical, Mechanical and Plumbing Plan is diagrammatic and illustrates the intent of the design. Contractor shall ensure that all related work conforms to the requirements of the local regulatory agencies having jurisdiction.
- 13. Provide all trim necessary for the correct operation of all fixtures and equipment.
- 14. Provide ventilation for products of combustion to outside air (UMC).
- 15. All piping shall be installed with ample provisions for expansion and contraction.
- 16. Slope all soils and waste lines within buildings a minimum of 1/4" per foot as uniformly as practical over the length of any run and slope exterior lines a minimum of 1/8" per foot as uniformly as practical over the length of any run (U.O.N.).
- 17. Provide clean—out to grade at 100 foot intervals maximum on all exterior sanitary sewer lines.

RESIDENTIAL LIGHTING NOTES

KITCHENS

- At least half the input lighting watts in kitchens must be consumed by high efficacy luminaries.
- 2. High-efficacy fixtures and non-high efficacy fixtures shall be switched separately.

BATHROOMS, GARAGES, LAUNDRY ROOMS AND/OR UTILITY ROOMS

1. Lighting in bathrooms, garages, laundry rooms and/or utility rooms shall be high efficacy, or must be controlled by a manual—on occupant sensor. These two features may be mixed and matched on separate circuits, and must have their own switching.

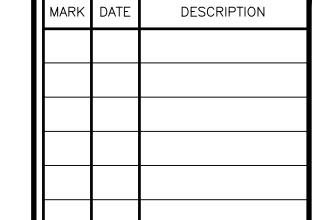
OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS)

1. Permanently installed lighting in other rooms must be high efficacy, or a manual on occupant sensor, or a dimmer must control it.

Exception: Permanently installed luminaires that are not high efficacy luminaires are allowed in closets less than 70 square feet and may be controlled by any type of switching.

OUTDOOR LIGHTING

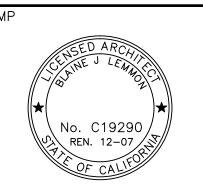
- 1. Outdoor lighting attached to a building shall be high efficacy, or controlled by a motion sensor with integral photo control. Motion sensors used in conjunction with outdoor lighting luminaires should have the capability of turning the lights on automatically. Lighting around swimming pools, water features, or other locations subject to Article 680 of the California Electric Code are exempt.
- 2. Motion sensors and photo controls shall have an indicator that visibly or audibly informs the operator that the controls are operating properly, or that they have failed or malfunctioned.



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PROJECT ADDRESS

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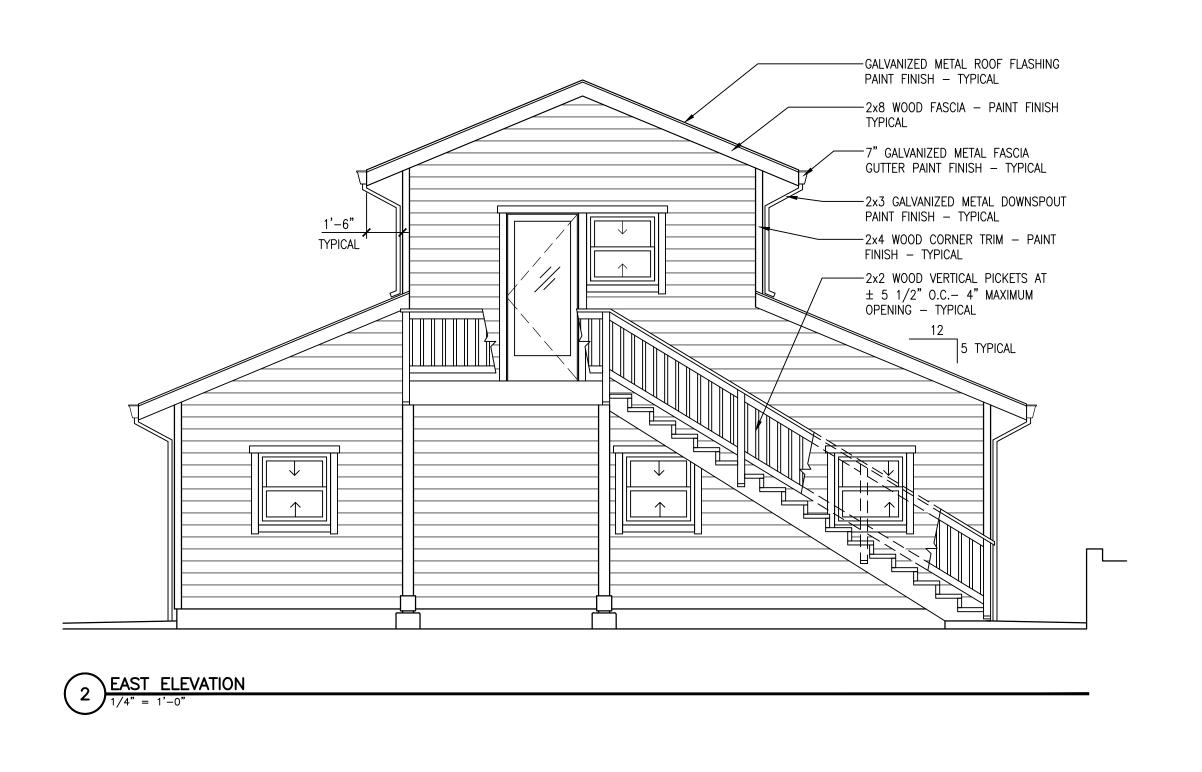
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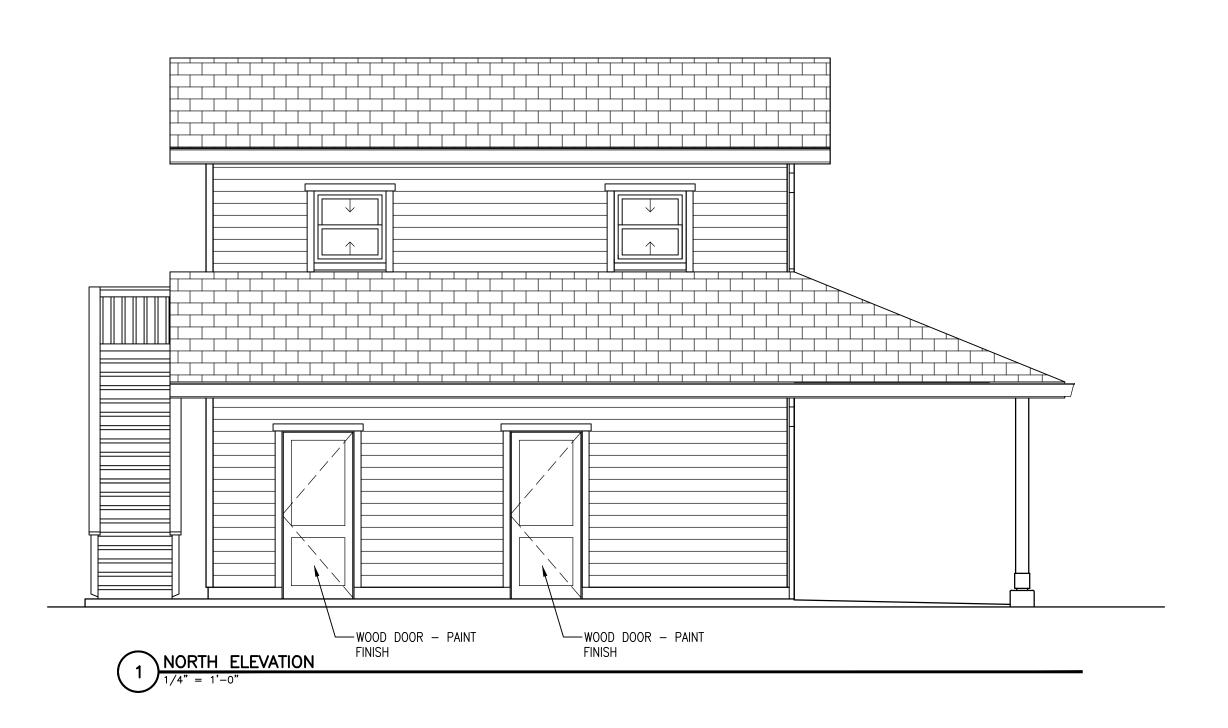
ELECTRICAL PLANS

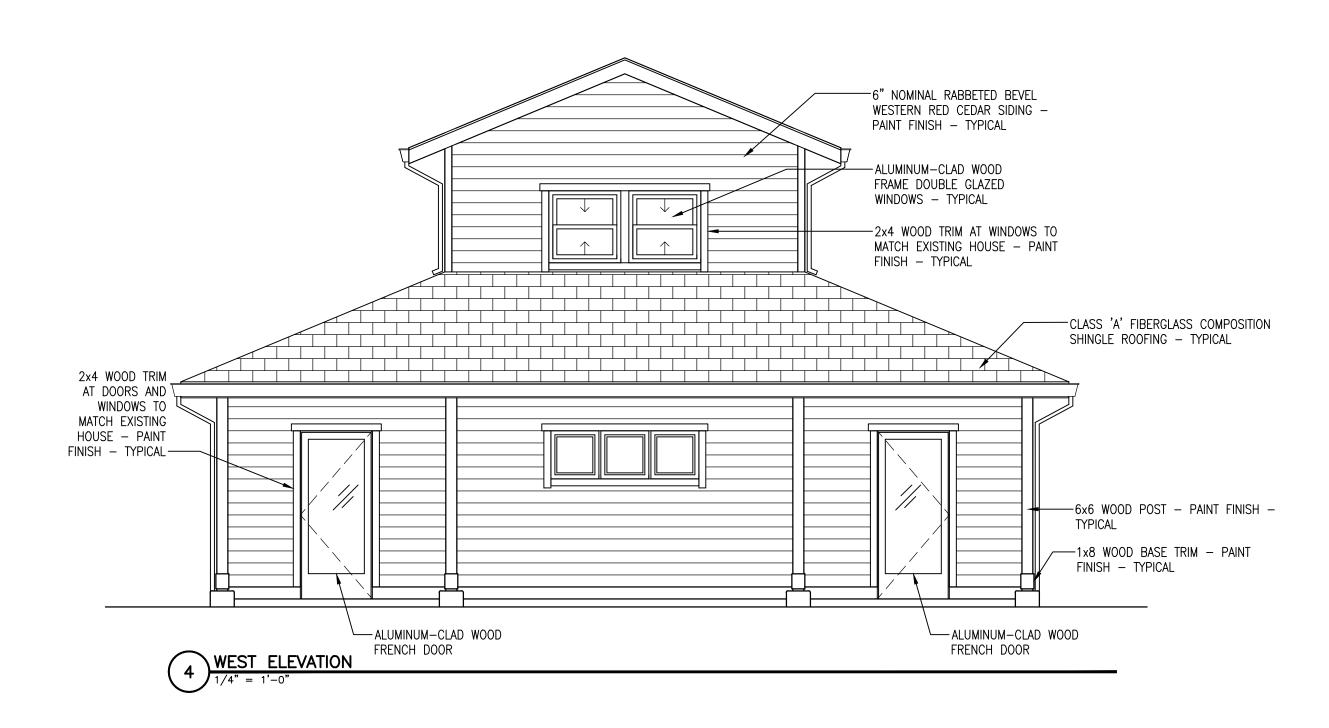
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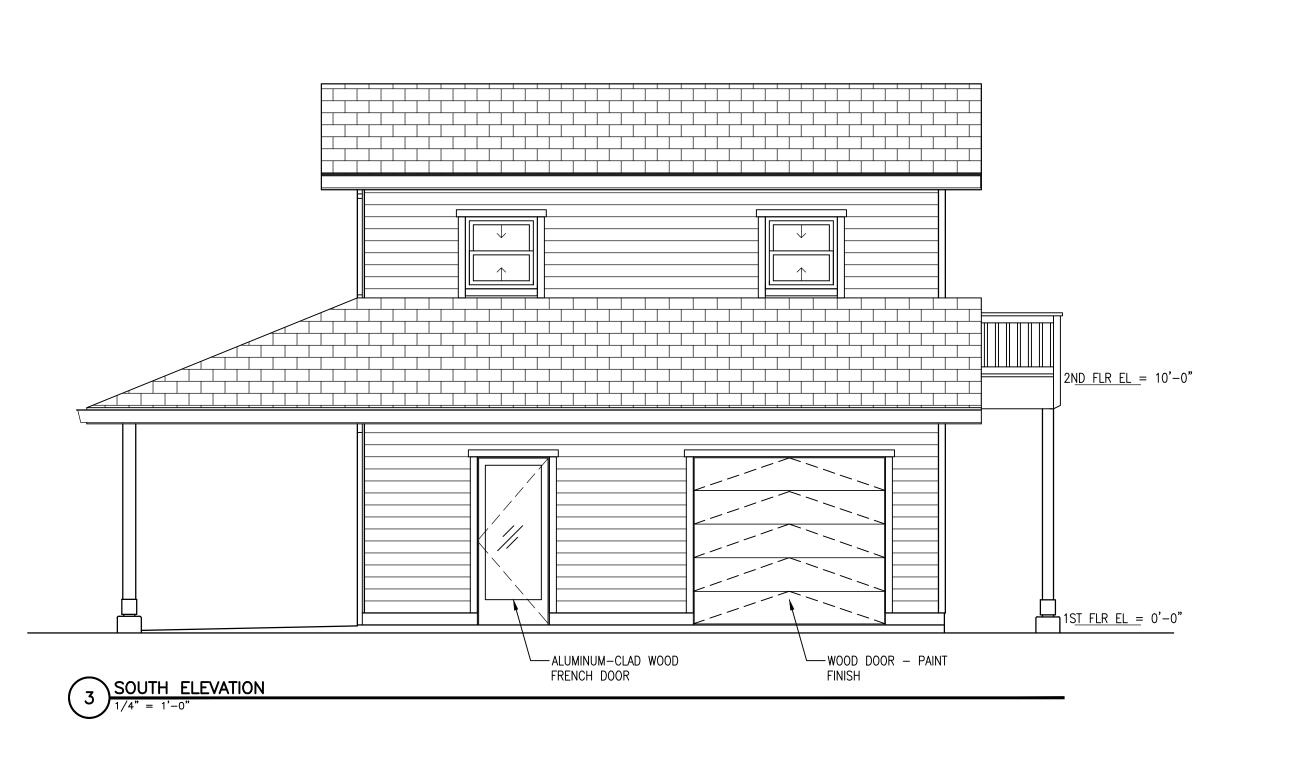
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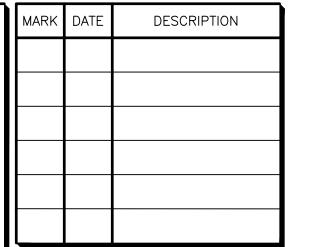
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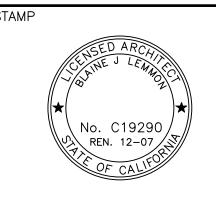
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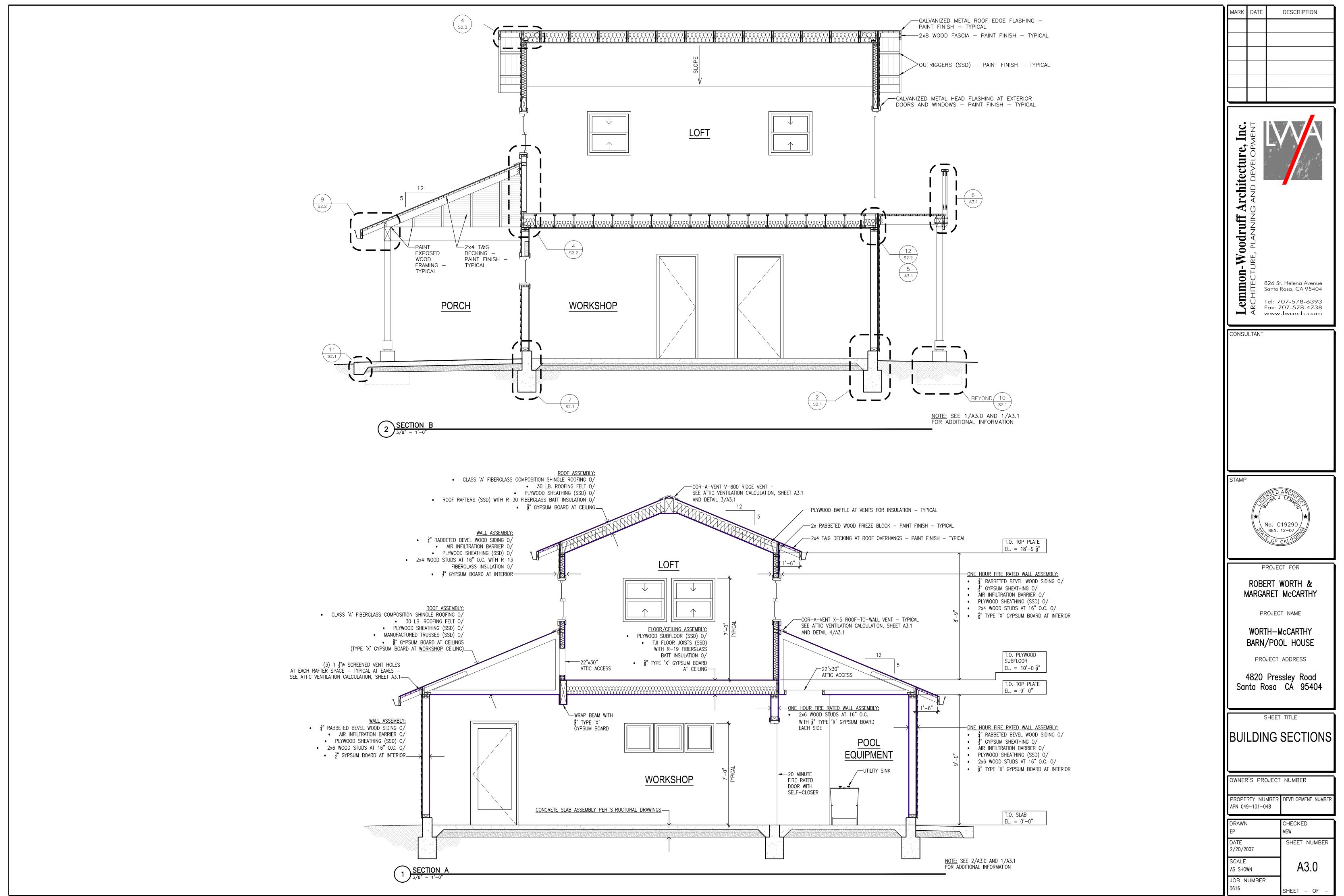
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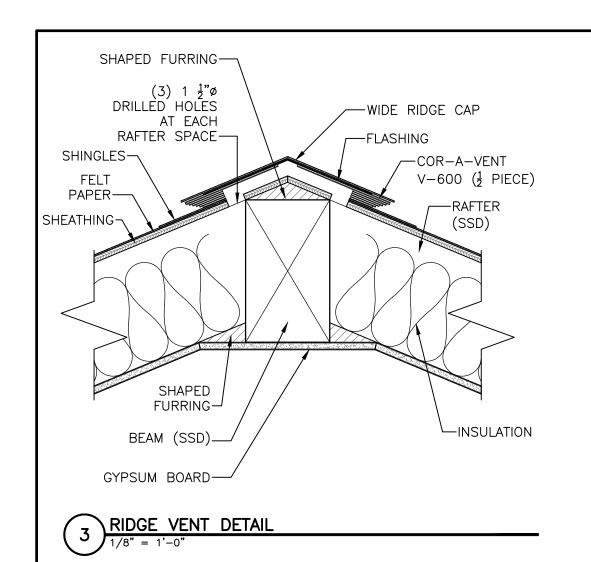
ELEVATIONS & NOTES

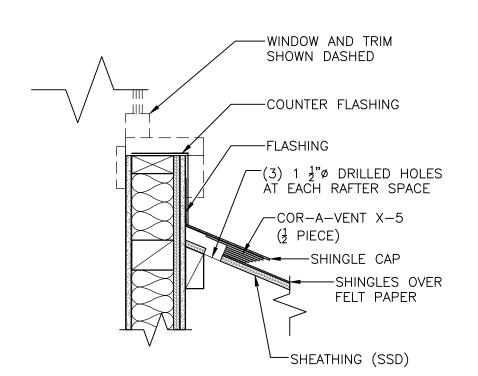
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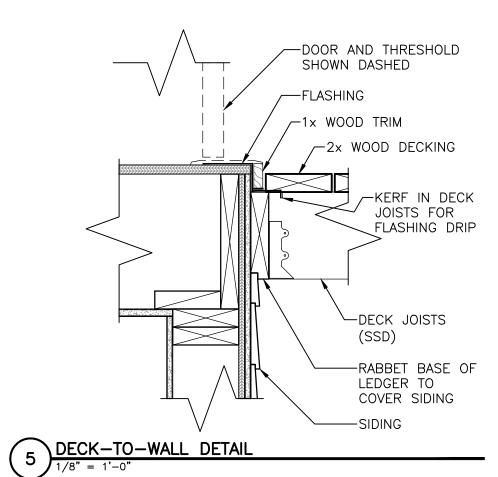
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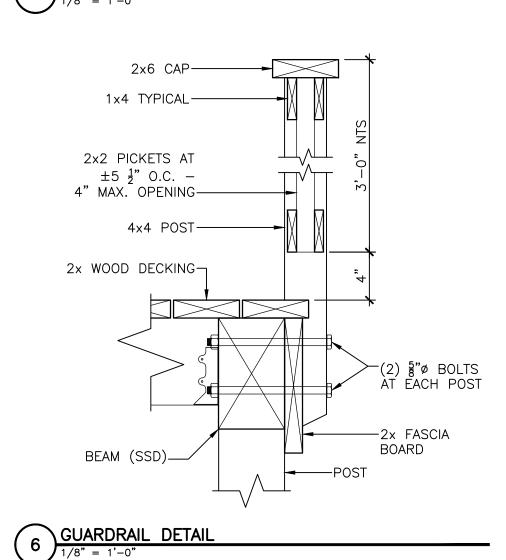






4 ROOF-TO-WALL VENT DETAIL





ATTIC VENTILATION CALCULATION

AREA 'A'

• PROVIDE 1 SQUARE FOOT OF VENTILATION PER 300 SQUARE FEET OF ATTIC AREA WITH 50% AT THE EAVES AND 50% AT 3 FEET MINIMUM ABOVE THE EAVES

360.50 SQ. FT = 1.22 SQ. FT (TOTAL VENTILATION REQUIRED)

300 SQ. FT $1.22 \times 144 = 175.68 \text{ SQ. IN. (CONVERSION TO INCHES)}$

175.68 SQ. IN. = 87.84 SQ. IN. MINIMUM REQUIRED AT EAVES (50%) 87.84 SQ. IN. MINIMUM REQUIRED AT 3 FT ABOVE EAVES (50%)

- AT EAVES: 1 1/2" Ø HOLE = 1.77 SQ. IN. NET FREE VENT AREA. PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 24 RAFTER SPACES. 3 HOLES x 1.77 SQ. IN. PER HOLE x 24 RAFTER SPACES = $127.44 \text{ SQ. IN.} \quad \sqrt{\text{O.K.}}$
- ABOVE EAVES: COR-A-VENT V-600 RIDGE VENT
 PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 24 RAFTER SPACES
 3 HOLES x 1.77 SQ. IN. PER HOLE x 24 RAFTER SPACES = 127.44 SQ. IN. √ O.K.

AREA 'B' AND AREA 'C'

PROVIDE 1 SQUARE FOOT OF VENTILATION PER 300 SQUARE FEET OF ATTIC AREA WITH 50% AT THE EAVES AND 50% AT 3 FEET MINIMUM ABOVE THE EAVES

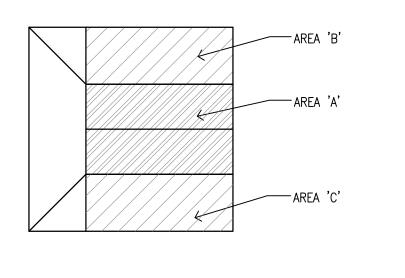
<u>232.75 SQ. FT</u> = 0.77 SQ. FT (TOTAL VENTILATION REQUIRED)

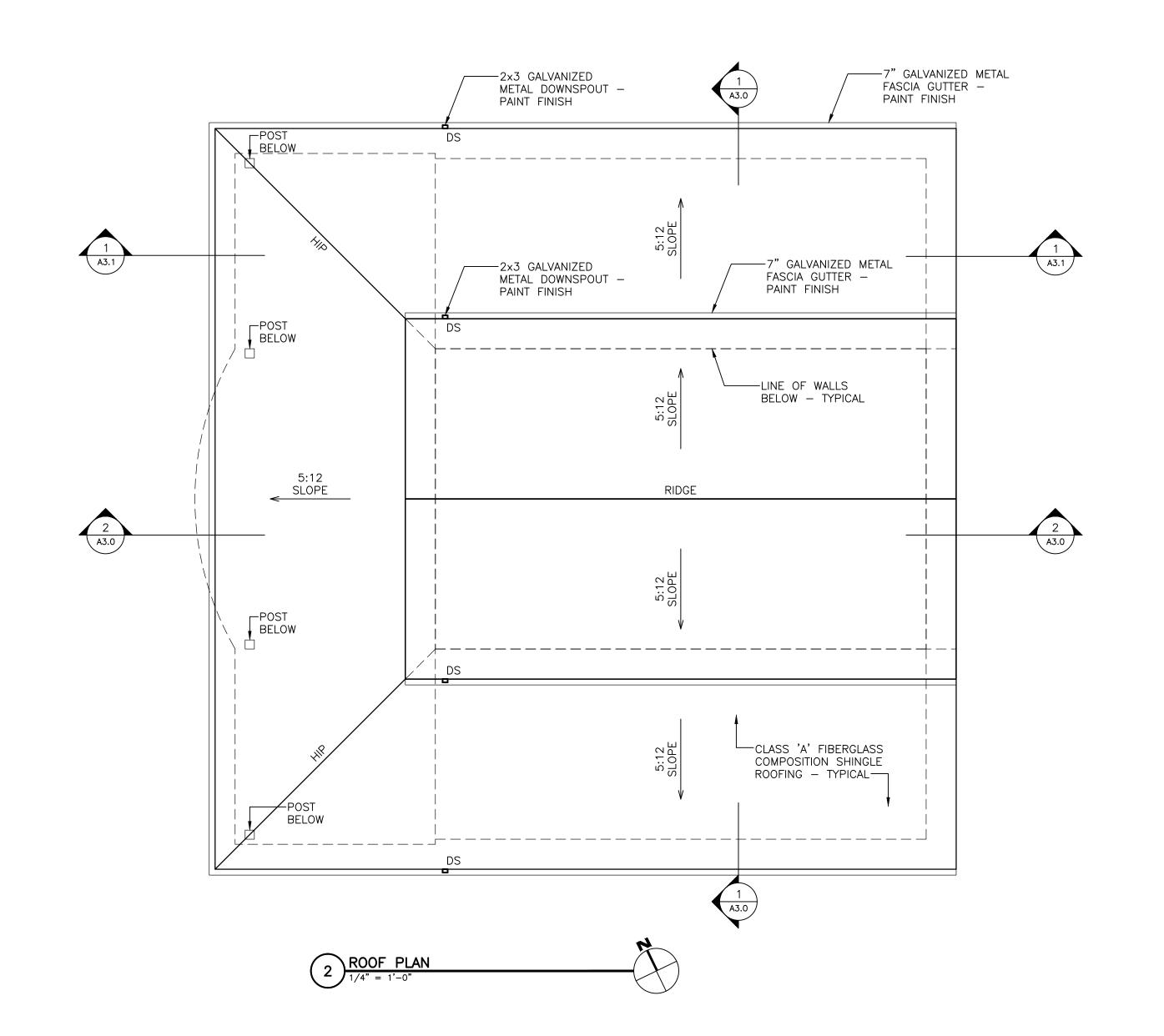
0.77 x 144 = 110.88 SQ. IN. (CONVERSION TO INCHES)

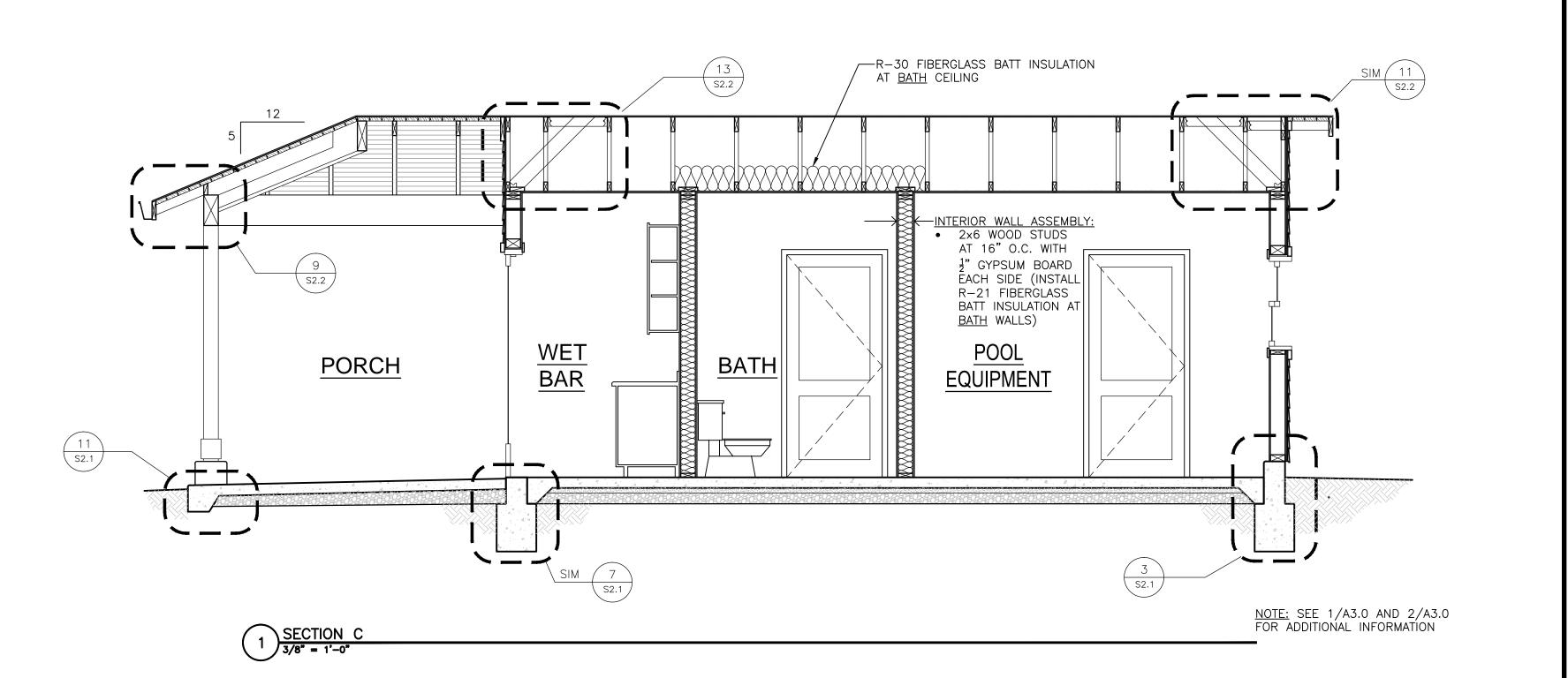
- 110.88 SQ. IN. = 55.44 SQ. IN. MINIMUM REQUIRED AT EAVES (50%)
 55.44 SQ. IN. MINIMUM REQUIRED AT 3 FT ABOVE EAVES (50%)
- AT EAVES: 1 1/2" Ø HOLE = 1.77 SQ. IN. NET FREE VENT AREA.

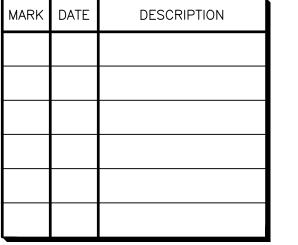
 PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 12 RAFTER SPACES.

 3 HOLES x 1.77 SQ. IN. PER HOLE x 12 RAFTER SPACES = 63.72 SQ. IN. √ 0.K.
- ABOVE EAVES: COR-A-VENT X-5 ROOF-TO-WALL VENT PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 12 RAFTER SPACES 3 HOLES x 1.77 SQ. IN. PER HOLE x 12 RAFTER SPACES = 63.72 SQ. IN. √ 0.K.









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3 AND DEVELOPMENT

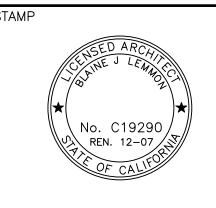
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