

# A Barn/Pool House for

# **ROBERT WORTH & MARGARET McCARTHY**

## 4820 Pressley Road

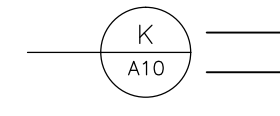
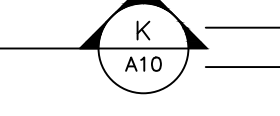
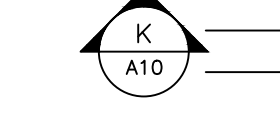
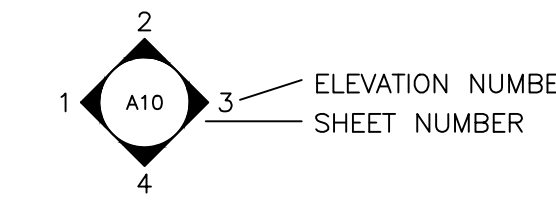
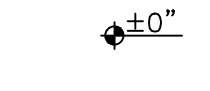

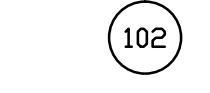
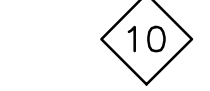
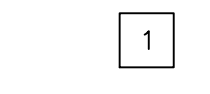
## Santa Rosa, CA 95404

MARK	DATE	DESCRIPTION

**Lemmon-Woodruff Architecture, Inc.**  
ARCHITECTURE, PLANNING AND DEVELOPMENT

826 St. Helena Avenue  
Santa Rosa, CA 95404  
Tel: 707-578-6393  
Fax: 707-578-4738  
www.lwarch.com

ABBREVIATIONS			
ACOUS.	Acoustic (al)	F.O.M.	Face Of Masonry
A.D.	Area Drain	F.O.S.	Face Of Stud
ADJ.	Adjustable or Adjacent	FRMG.	Framing
AGG.	Aggregate	FT.	Foot or Feet
ALUM.	Aluminum	FTG.	Footing
ANOD.	Anodized	FURR.	Furring
APPROX.	Approximate (ly)	FUT.	Future
ARCH.	Architect (ural)	GA.	Gauge
ASB.	Asbestos	GALV.	Galvanized
ASPH.	Asphalt	G.B.	Grab Bar
BD.	Board	GL.	Glass
BITUM.	Bituminous	GND.	Ground
BLDG.	Building	GR.	Grade
BLK.	Block	GYP.	Gypsum
BLKG.	Blocking	H.B.	Hose Bib
BM.	Beam	H.C.	Hollow Core
BOT.	Bottom	H/C	Handicapped
CAB.	Cabinet	HDR.	Header
C.B.	Catch Basin	HDR.	Hardware
CEM.	Cement	HWD.	Hardwood
CER.	Ceramic	H.M.	Hollow Metal
C.I.	Cast Iron	HORIZ.	Horizontal
C.G.	Corner Guard	HR.	Hour
C.L.	Centerline	HT.	Height
CLG.	Caulking	I.D.	Inside Diameter
CLOS.	Closet	INFO.	Information
CLR.	Clear	INSUL.	Insulation
CLS.	Closer	INT.	Interior
C.M.U.	Concrete Masonry Unit	JAN.	Janitor ('s)
C.O.	Cleanout	JT.	Joint
COL.	Column	KIT.	Kitchen
CONC.	Concrete	LAB.	Laboratory
CONN.	Connection	LAM.	Laminate (d)
CONST.	Construction	LAV.	Lavatory
CONT.	Continuous	LBS.	Pounds
CORR.	Corridor	LT.	Light
CSK.	Countersink	MAX.	Maximum
CNTR.	Counter	M.C.	Medicine Cabinet
CTR.	Center	MECH.	Mechanical
DBL.	Double	MEMB.	Membrane
DEMO.	Demolish (ed)	MFR.	Manufacturer
DEPT.	Department	MIN.	Minimum
DET.	Detail	MIRR.	Mirror
D.F.	Drinking Fountain	MISC.	Miscellaneous
DIAG.	Diagonal	M.O.	Masonry Opening
DIM.	Dimension	MTD.	Mounted
DIR.	Directly	MTL.	Metal
DISP.	Disposal	(N)	New
DIV.	Division (s)	N/A	Not Applicable
DN.	Down	NAT.	Natural
D.O.	Door Opening	N.I.C.	Not In Contract
DR.	Door	NO.	Number
D.S.	Downspout	N.T.S.	Not To Scale
D.T.O.	Drain To Outside	O.A.	Overall
DWC.	Drawing	OPSC.	Obscure
DWR.	Drawer	O.C.	On Center
(E)	Existing	O.D.	Outside Diameter
EA.	Each	OFF.	Office
E.J.	Expansion Joint	OPER.	Operate (d) or Operation
ELEC.	Electric (al)	OPNG.	Opening
EL.	Elevation	OPP.	Opposite
ELEV.	Elevator	OPT.	Optional
ENGR.	Engineer	PLATE	Plate
EQ.	Equal	PLAS.	Plastic
EQUIP.	Equipment	PLMB.	Plumbing
E.W.C.	Electric Water Cooler	PLYWD.	Plywood
EXC.	Excavate	PNL.	Panel
EXP.	Expansion	PR.	Pair
EXPO.	Exposure	PREFAB.	Prefabricated
EXT.	Exterior	PRELIM.	Preliminary
F.A.	Fire Alarm	PROP.	Property
FAB.	Fabricate (d)	P.T.	Point
F.B.	Face Brick	P.T.D.	Paper Towel Dispenser
F.B.O.	Furnished By Others	PTD.	Painted
F.D.	Floor Drain	Q.T.	Quarry Tile
FDN.	Foundation	R.	Riser (s)
F.E.	Fire Extinguisher	RAD.	Radius
F.E.C.	Fire Extinguisher Cabinet	R.D.	Roof Drain
F.F.	Finished Floor	R.D.W.	Redwood
FGL.	Fiberglass	REF.	Reference
F.H.S.	Fire Hose Station	REFR.	Refrigerator
FIN.	Finish (ed)	REG.	Regular
FIX.	Fixed	REINF.	Reinforced or Reinforcing
FIXT.	Fixture	REQ.	Required
F.L.	Floor Line	RESIL.	Resilient
FLR.	Floor	RM.	Room
FLSHG.	Flashing	R.O.	Rough Opening
FLUOR.	Fluorescent	R.O.F.	Face Of Concrete
F.O.	Face Of	R.O.F.	Face Of Finish
F.O.C.	Face Of Concrete	R.W.L.	Rain Water Leader
F.O.F.	Face Of Finish		

SYMBOLS LEGEND	
DETAIL	 — DETAIL LETTER — SHEET NUMBER
SECTION	 — SECTION LETTER — SHEET NUMBER
ELEVATION (VIEW)	 — ELEVATION LETTER — SHEET NUMBER
ELEVATION (INTERIOR)	 — ELEVATION NUMBER — SHEET NUMBER
ELEVATION (DATUM)	 ±0"
ROOM NUMBER	 ROOM 102
DOOR DESIGNATION	 102
WINDOW DESIGNATION	 10
KEYNOTE	 1

**CONSULTANTS**

ARCHITECT: LEMMON-WOODRUFF ARCHITECTURE, INC.  
826 St. Helena Avenue  
Santa Rosa, CA 95404

TELEPHONE: (707) 578-6393  
FACSIMILE: (707) 578-4738

TITLE 24 ENERGY CONSULTANT: SAVE ENERGY CONSULTING  
10555 Chalk Hill Road  
Healdsburg, CA 95448

TELEPHONE: (707) 838-8505  
FACSIMILE: (707) 838-9083

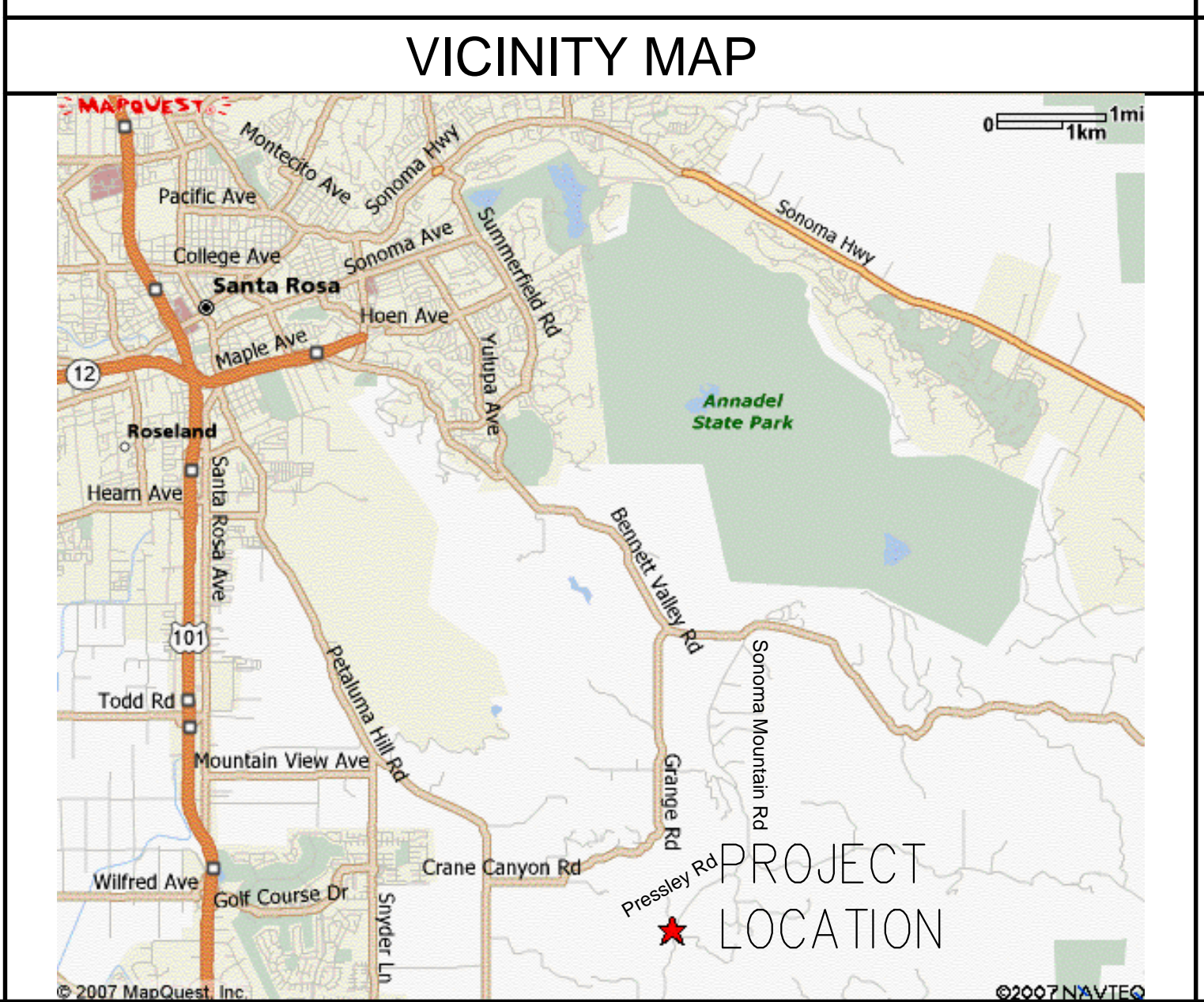
SURVEYOR: HOGAN LAND SERVICES  
541 Farmers Lane  
Santa Rosa, CA 95405

TELEPHONE: (707) 544-2104  
FACSIMILE: (707) 522-2105

STRUCTURAL ENGINEER: TERENCE LEE CONSULTING  
1953 Seville Street  
Santa Rosa, CA 95403-8121

TELEPHONE: (707) 527-0592  
FACSIMILE: (707) 570-2057

SHEET INDEX	
<u>GENERAL</u>	
GO.0	COVER SHEET
GO.1	TITLE 24 ENERGY COMPLIANCE DOCUMENTATION
<u>GRADING AND DRAINAGE</u>	
1	TITLE SHEET
2	GRADING PLAN
<u>ARCHITECTURAL</u>	
A1.0	SITE PLAN
A1.1	FLOOR PLANS
A2.0	ELEVATIONS
A3.0	BUILDING SECTIONS
A3.1	BUILDING SECTION, ROOF PLAN & ATTIC VENT CALCULATION
<u>STRUCTURAL</u>	
S1.1	GENERAL NOTES
S1.2	TYPICAL DETAILS
S2.1	FOUNDATION PLAN & DETAILS
S2.2	SECOND FLOOR AND LOWER ROOF PLAN & DETAILS
S2.3	UPPER ROOF FRAMING & DETAILS
<u>MECHANICAL &amp; ELECTRICAL</u>	
ME1.0	ELECTRICAL FLOOR PLANS



**CODE COMPLIANCE NOTES**

- All construction shall comply with the requirements of the latest edition of the California Building Code (CBC) and any and all other applicable codes as adopted by the local building department with jurisdiction, including the following:  
The National Electrical Code (NEC)  
The Uniform Electrical Code (UEC)  
The Uniform Mechanical Code (UMC)  
The Uniform Plumbing Code (UPC)  
The Uniform Security Code (USC)  
The California State Energy Standards
- Dimensions shall not be scaled from these drawings. Written dimensions shall govern. Conflicts within the drawings shall be brought to the immediate attention of the Architect. Any discrepancy or conflict between depicted conditions and field conditions shall be brought to the immediate attention of the Architect. All dimensions and field conditions shall be examined and verified prior to construction.
- These drawings shall not be used for any other project in whole or in part by anyone not having a contract with the Architect or without the written consent of the Architect.

CONSULTANT

STAMP

PROJECT FOR

**ROBERT WORTH & MARGARET McCARTHY**

PROJECT NAME

**WORTH-McCARTHY BARN/POOL HOUSE**

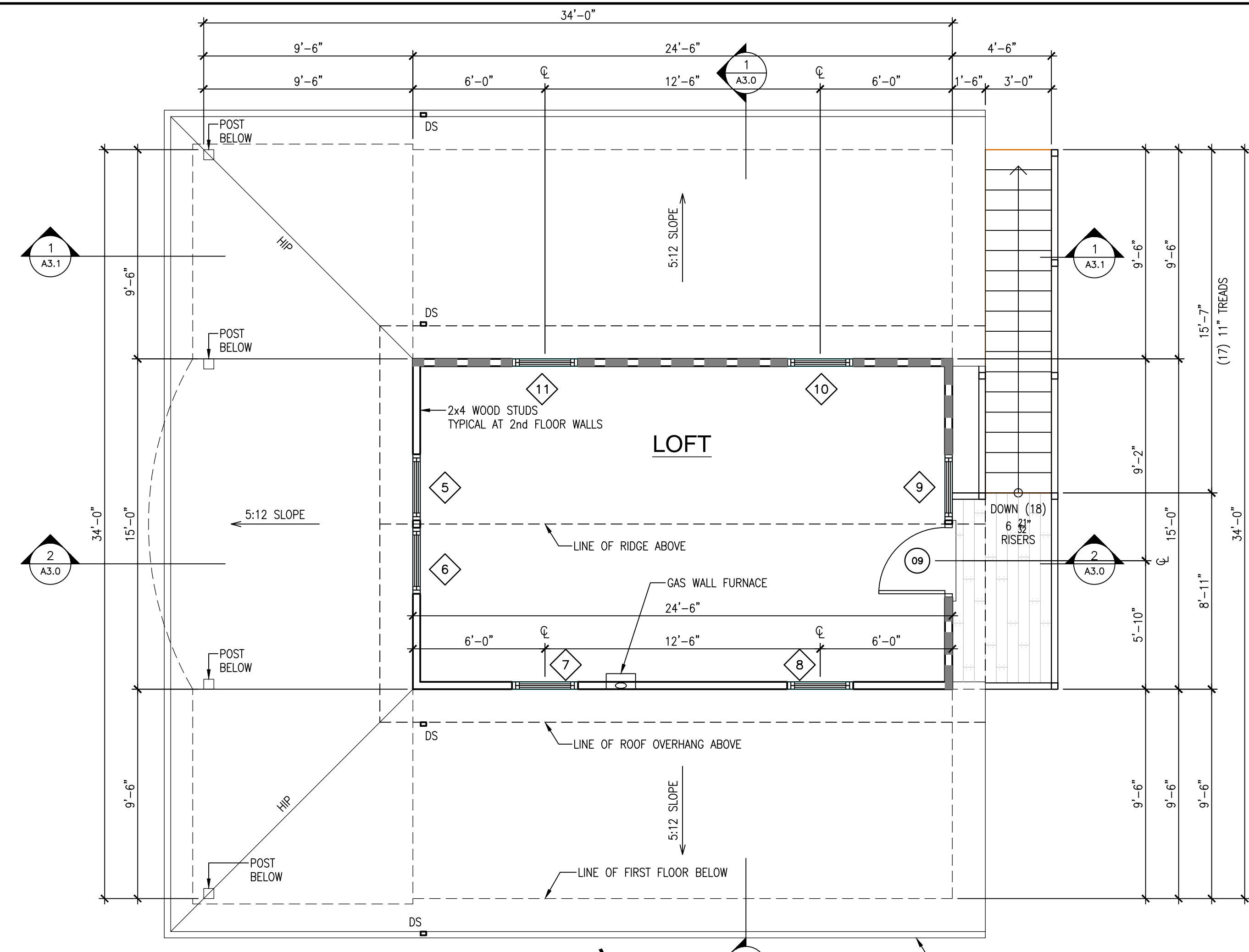
PROJECT ADDRESS

**4820 Pressley Road  
Santa Rosa CA 95404**

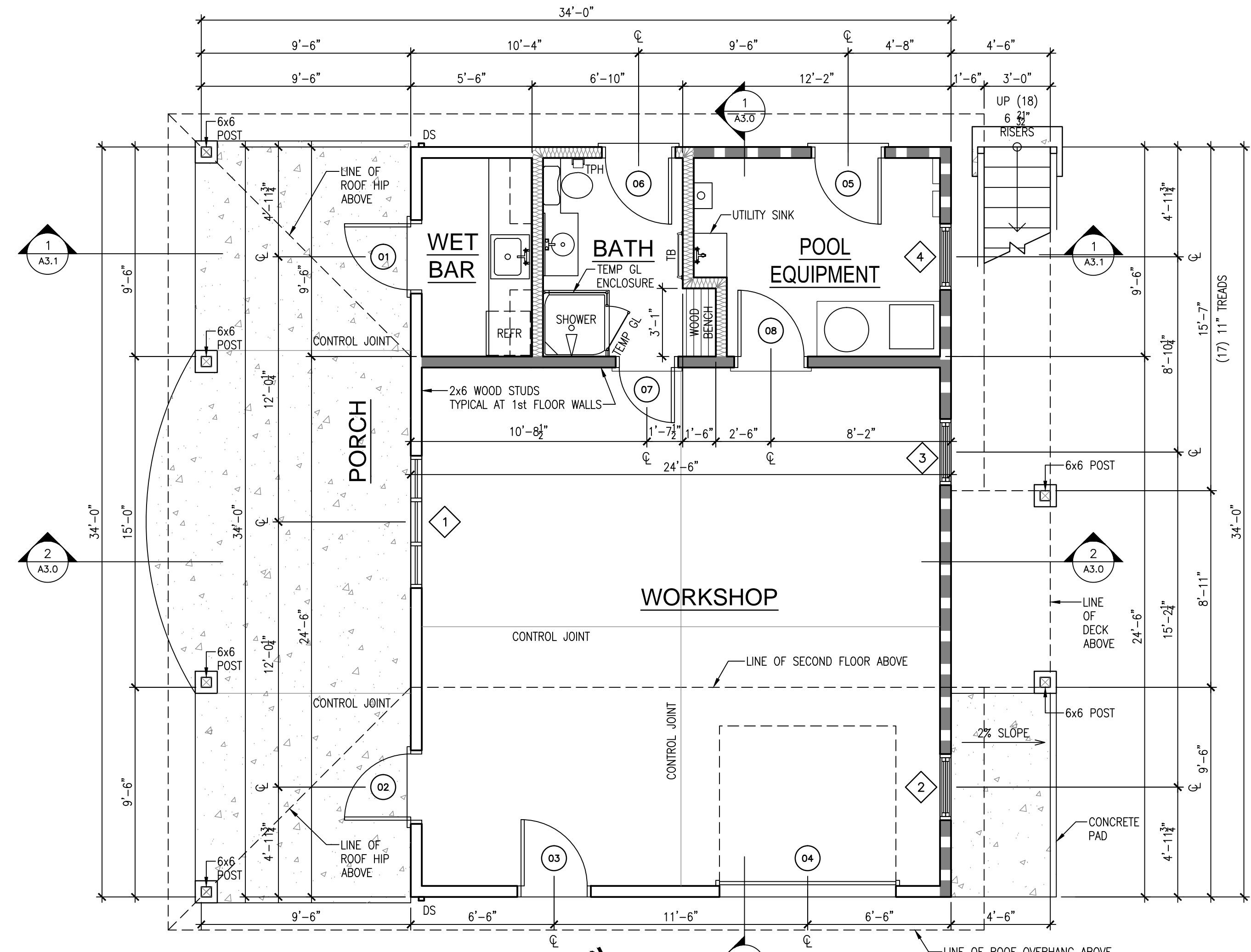
SHEET TITLE	
<b>COVER SHEET</b>	
OWNER'S PROJECT NUMBER	
PROPERTY NUMBER APN 049-101-048	DEVELOPMENT NUMBER
DRAWN EP	CHECKED MSW
DATE 2/20/2007	SHEET NUMBER
SCALE AS SHOWN	<b>G0.0</b>
JOB NUMBER 0616	SHEET - OF -







2 SECOND FLOOR PLAN  
1/4" = 1'-0"



1 FIRST FLOOR PLAN  
1/4" = 1'-0"

1st FLOOR AREA = 833 SQ. FT.  
2nd FLOOR AREA = 367.50 SQ. FT.  
TOTAL AREA = 1200.50 SQ. FT.

### DOOR SCHEDULE - 2ND STORY

DOOR							
MARK	SIZE			MATL	GLAZING	FIRE RATING LABEL	NOTES
	WD	HGT	THK				
09	3'-0"	7'-0"	1 3/4"	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E, TEMP GLASS		COLOR BY OWNER

### WINDOW SCHEDULE - 2nd FLOOR

MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
5	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
6	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
7	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
8	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E, TEMP GLASS
9	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E, TEMP GLASS
10	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS
11	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E GLASS

### WALL TYPE LEGEND - 2nd FLOOR

**TYPICAL 2nd FLOOR EXTERIOR WALL:**  
 INTERIOR SIDE: 1/2" GYPSUM BOARD OVER 2x4 WOOD STUDS AT 16" O.C. WITH R-13 FIBERGLASS BATT INSULATION.  
 EXTERIOR SIDE: 3/4" RABBETED BEVEL WOOD SIDING OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO STUDS.

**ONE HOUR FIRE RATED WALL ASSEMBLY PER CBC TABLE 7-B, ITEM 18-1.1:**  
 INTERIOR SIDE: 5/8" TYPE 'X' GYPSUM BOARD APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 6d COOLER OR WALLBOARD NAILS AT 7" O.C. WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH SIDE.  
 EXTERIOR SIDE: 3/4" RABBETED BEVEL WOOD SIDING NAILED WITH 9d GALVANIZED SMOOTH BOX NAILS OVER 1/2" GYPSUM SHEATHING NAILED WITH 2 1/2" x No. 11 GAGE x 16" HEAD GALVANIZED NAILS AT 8" O.C. OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO 2x4 WOOD STUDS AT 16" O.C.

### DOOR SCHEDULE - 1ST STORY

DOOR							
MARK	SIZE			MATL	GLAZING	FIRE RATING LABEL	NOTES
	WD	HGT	THK				
01	3'-0"	7'-0"	1 3/4"	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E, TEMP GLASS		COLOR BY OWNER
02	3'-0"	7'-0"	1 3/4"	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E, TEMP GLASS		COLOR BY OWNER
03	3'-0"	7'-0"	1 3/4"	ALUMINUM-CLAD WOOD FRAME	DOUBLE GLAZED, LOW-E, TEMP GLASS		COLOR BY OWNER
04	8'-0"	7'-0"	1 3/4"	WOOD			PAINT FINISH
05	3'-0"	7'-0"	1 3/4"	WOOD			
06	3'-0"	7'-0"	1 3/4"	WOOD			
07	2'-6"	7'-0"	1 3/4"	WOOD		20 MIN	SELF-CLOSER, PAINT FINISH
08	3'-0"	7'-0"	1 3/4"	WOOD		20 MIN	SELF-CLOSER, PAINT FINISH

### WINDOW SCHEDULE - 1st FLOOR

MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
1	6'-0"	2'-0"	FIXED	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS
2	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS
3	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS
4	3'-0"	3'-0"	DOUBLE-HUNG	ALUMINUM-CLAD WOOD FRAME	DOUBLE-GLAZED, LOW-E GLASS

### WALL TYPE LEGEND - 1st FLOOR

**TYPICAL 1st FLOOR EXTERIOR WALL:**  
 INTERIOR SIDE: 1/2" GYPSUM BOARD OVER 2x6 WOOD STUDS AT 16" O.C. (INSTALL R-21 FIBERGLASS BATT INSULATION AT BATH WALLS).  
 EXTERIOR SIDE: 3/4" RABBETED BEVEL WOOD SIDING OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO STUDS.

**ONE HOUR FIRE RATED WALL ASSEMBLY PER CBC TABLE 7-B, ITEM 18-1.1:**  
 INTERIOR SIDE: 5/8" TYPE 'X' GYPSUM BOARD APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 6d COOLER OR WALLBOARD NAILS AT 7" O.C. WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH SIDE.  
 EXTERIOR SIDE: 3/4" RABBETED BEVEL WOOD SIDING NAILED WITH 9d GALVANIZED SMOOTH BOX NAILS OVER 1/2" GYPSUM SHEATHING NAILED WITH 2 1/2" x No. 11 GAGE x 16" HEAD GALVANIZED NAILS AT 8" O.C. OVER AIR INFILTRATION BARRIER OVER PLYWOOD SHEATHING PER STRUCTURAL DRAWINGS ATTACHED TO 2x6 WOOD STUDS AT 16" O.C.

**ONE HOUR FIRE RATED WALL ASSEMBLY PER CBC TABLE 7-B, ITEM 17-1.3:**  
 2x6 WOOD STUDS AT 16" O.C. WITH 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED WITH 6d COOLER OR WALLBOARD NAILS AT 7" O.C. WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH SIDE. (INSTALL R-21 FIBERGLASS BATT INSULATION AT BATH WALLS).

**TYPICAL INTERIOR WALL:**  
 2x6 WOOD STUDS AT 16" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE (INSTALL R-21 FIBERGLASS BATT INSULATION AT BATH WALLS).

### FLOOR PLAN NOTES

- Stair riser heights shall be between a minimum of 4" and a maximum of 8", with a maximum variation between riser heights of 3/8". Stair treads shall be no less than 9" minimum in depth. Handrails shall be between a minimum of 34" and a maximum of 38" above tread nosing. Stair width shall be a minimum of 36" and minimum headroom clearance shall be 6'-8". Guardrails shall have a minimum height of 36", with a 4" maximum opening (CBC Chapter 10).
- Common walls and ceiling between garage and dwelling shall have 5/8" type "X" gypsum board on garage side, with a 1-3/8" solid core, self-closing door to house (CBC Chapter 3).
- Provide pressure relief valve (P.R.V.) with drain to outside (D.T.O.) for water heater (UPC).
- Showers and tubs with showers require a non-absorbent surface up to 70" above the drain inlet. Provide curtain rod or approved enclosure material (CBC Chapter 8).
- When gypsum board is used as a base for tile or wall panels in tub and/or shower enclosures and water closet compartment walls (see Chapter 8, CBC) water-resistant gypsum backing board shall be used (CBC Chapter 25).
- Pre-manufactured items including, but not limited to, fireplaces, wood-burning stoves, fixtures, equipment and appliances shall be installed as per manufacturer's specifications.
- Water closets shall be located in a space not less than 30" in width with 24" minimum clearance in front (CBC Chapter 29).
- Contractor shall verify in field (V.I.F.) exact window dimensions, rough opening sizes and all glazing requirements prior to placing order with window manufacturer.

### WALL FRAMING NOTES

- Protect exposed framing with 2 coats of an approved wood preservative.
- Fireblock at ceilings, floors, furred-down ceilings, showers, soffits and at concealed draft openings not to exceed 10 ft. maximum in both vertical and horizontal directions (CBC Chapter 7).
- Provide approved building paper under lapped siding and approved flashing at exterior openings (CBC Chapter 14).
- Nailing shall be of corrosion resistant type for exterior walls (CBC Chapter 23).

### ROOF FRAMING NOTES

- Provide attic ventilation: 1/150 of attic area; or 1/300 if 50% of vents are 3 ft. above eave and balance are at eave (CBC Chapter 15). Baffles are required at vents for insulation.
- Enclosed rafter spaces shall have cross ventilation (1" minimum clear) (CBC Chapter 15).
- Provide minimum 22"x30" attic access opening with a minimum of 30" clear headroom above opening. Attics with a maximum vertical clear height of less than 30" need not be provided with access openings (CBC Chapter 15).
- Roof construction and covering shall comply with CBC Chapter 15 and local ordinances.

MARK	DATE	DESCRIPTION

**Lemmon-Woodruff Architecture, Inc.**  
 ARCHITECTURE, PLANNING AND DEVELOPMENT

826 St. Helena Avenue  
 Santa Rosa, CA 95404  
 Tel: 707-578-6393  
 Fax: 707-578-4738  
 www.lwarch.com

CONSULTANT

STAMP

PROJECT FOR  
**ROBERT WORTH & MARGARET MCCARTHY**

PROJECT NAME  
**WORTH-McCARTHY BARN/POOL HOUSE**

PROJECT ADDRESS  
**4820 Pressley Road  
 Santa Rosa CA 95404**

SHEET TITLE  
**FLOOR PLANS**

OWNER'S PROJECT NUMBER

PROPERTY NUMBER  
 APN 049-101-048

DEVELOPMENT NUMBER

DRAWN  
 EP

CHECKED  
 MSW

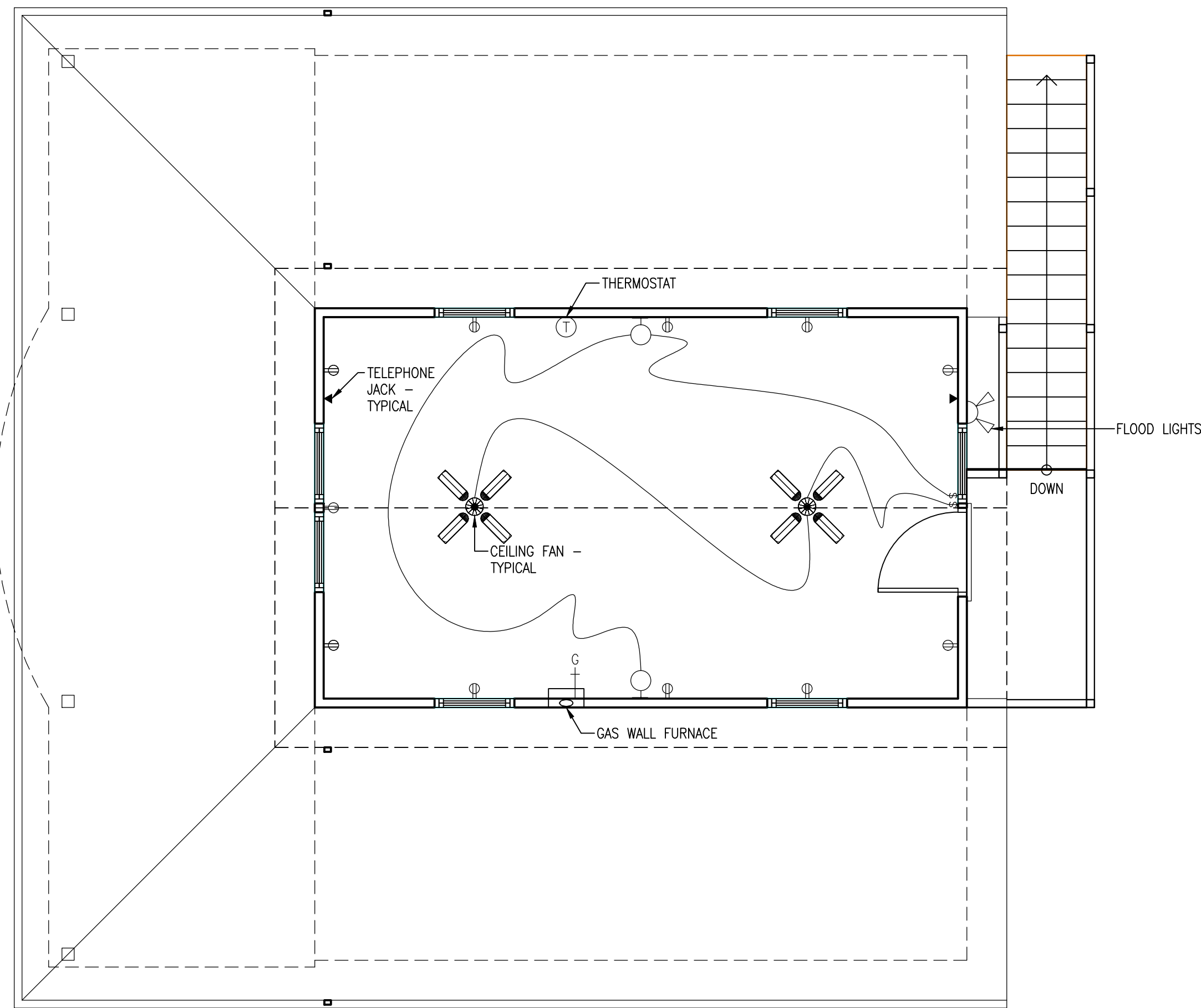
DATE  
 2/20/2007

SHEET NUMBER  
**A1.1**

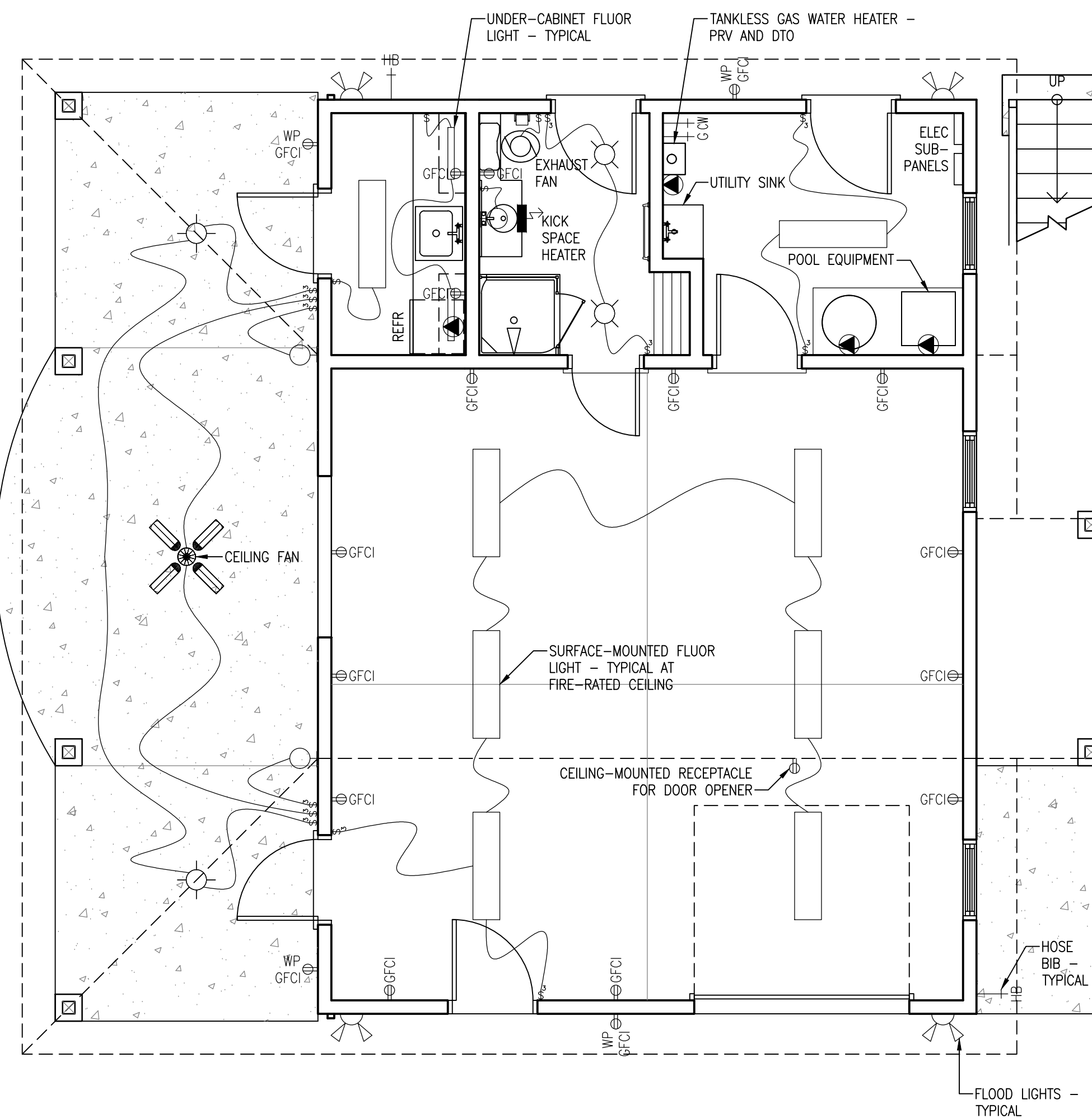
SCALE  
 AS SHOWN

JOB NUMBER  
 0616

SHEET - OF -



2 SECOND FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"



1 FIRST FLOOR ELECTRICAL PLAN  
1/4" = 1'-0"

- NOTES:
1. INSTALL 220 VOLT ELECTRICAL SERVICE TO THE NEW WORKSHOP.
  2. POOL EQUIPMENT SUBPANEL MUST BE TIED INTO THE MAIN PANEL AT THE EXISTING HOUSE.
  3. CONTRACTOR SHALL VERIFY ELECTRICAL, LIGHTING AND TELEPHONE REQUIREMENTS AND LAYOUT WITH OWNER PRIOR TO PURCHASING AND INSTALLATION.

### ELECTRICAL, MECHANICAL AND PLUMBING NOTES

1. Do not install electrical panels larger than 100 sq. in. in fire walls. Never install electrical panels in closets. Place nothing within 36" of the front of panels.
2. Kitchens must have a minimum of two 20 amp circuits. Kitchen counter outlets must be installed in every counter space 12" or wider, not greater than 4" o.c. and within 24" of the end of any counter space.
3. GFCI outlets must be installed within 6' of kitchen sinks, in bathrooms, in underfloor spaces, in exterior outlets with direct access to grade and in all garage outlets not dedicated to a single device or appliance. Provide at least two exterior outlets.
4. Receptacles must not be installed above baseboard heaters.
5. Receptacles must be installed at 12' o.c. maximum in walls. Walls longer than 2' and halls 10' or longer must have a receptacle.
6. Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of an approved type.
7. Provide antisiphon valves on all hose bibs (CPC).
8. Provide combustion air for all gas fired appliances as per UMC and UPC.
9. Plumbing contractor shall consolidate vents into a minimal amount of roof penetrations.
10. Appliances and receptacles installed in garage generating a glow, spark or flame shall be located 18" above floor. Provide protective barrier from cars (UMC)
11. Light fixtures in tub and shower areas shall be labeled "suitable for damp locations."
12. Electrical, Mechanical and Plumbing Plan is diagrammatic and illustrates the intent of the design. Contractor shall ensure that all related work conforms to the requirements of the local regulatory agencies having jurisdiction.
13. Provide all trim necessary for the correct operation of all fixtures and equipment.
14. Provide ventilation for products of combustion to outside air (UMC).
15. All piping shall be installed with ample provisions for expansion and contraction.
16. Slope all soils and waste lines within buildings a minimum of 1/4" per foot as uniformly as practical over the length of any run and slope exterior lines a minimum of 1/8" per foot as uniformly as practical over the length of any run (U.O.N.).
17. Provide clean-out to grade at 100 foot intervals maximum on all exterior sanitary sewer lines.

### RESIDENTIAL LIGHTING NOTES

#### KITCHENS

1. At least half the input lighting watts in kitchens must be consumed by high efficacy luminaires.
2. High-efficacy fixtures and non-high efficacy fixtures shall be switched separately.

#### BATHROOMS, GARAGES, LAUNDRY ROOMS AND/OR UTILITY ROOMS

1. Lighting in bathrooms, garages, laundry rooms and/or utility rooms shall be high efficacy, or must be controlled by a manual-on occupant sensor. These two features may be mixed and matched on separate circuits, and must have their own switching.

#### OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS)

1. Permanently installed lighting in other rooms must be high efficacy, or a manual on occupant sensor, or a dimmer must control it.  
  
Exception: Permanently installed luminaires that are not high efficacy luminaires are allowed in closets less than 70 square feet and may be controlled by any type of switching.

#### OUTDOOR LIGHTING

1. Outdoor lighting attached to a building shall be high efficacy, or controlled by a motion sensor with integral photo control. Motion sensors used in conjunction with outdoor lighting luminaires should have the capability of turning the lights on automatically. Lighting around swimming pools, water features, or other locations subject to Article 680 of the California Electric Code are exempt.
2. Motion sensors and photo controls shall have an indicator that visibly or audibly informs the operator that the controls are operating properly, or that they have failed or malfunctioned.

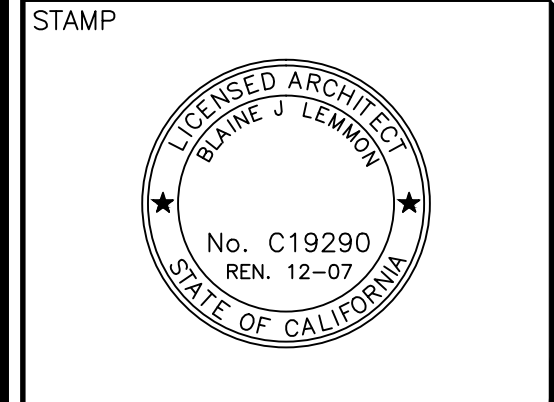
MARK	DATE	DESCRIPTION

**Lemmon-Woodruff Architecture, Inc.**  
ARCHITECTURE, PLANNING AND DEVELOPMENT



826 St. Helena Avenue  
Santa Rosa, CA 95404  
Tel: 707-578-6393  
Fax: 707-578-4738  
www.lwarch.com

CONSULTANT



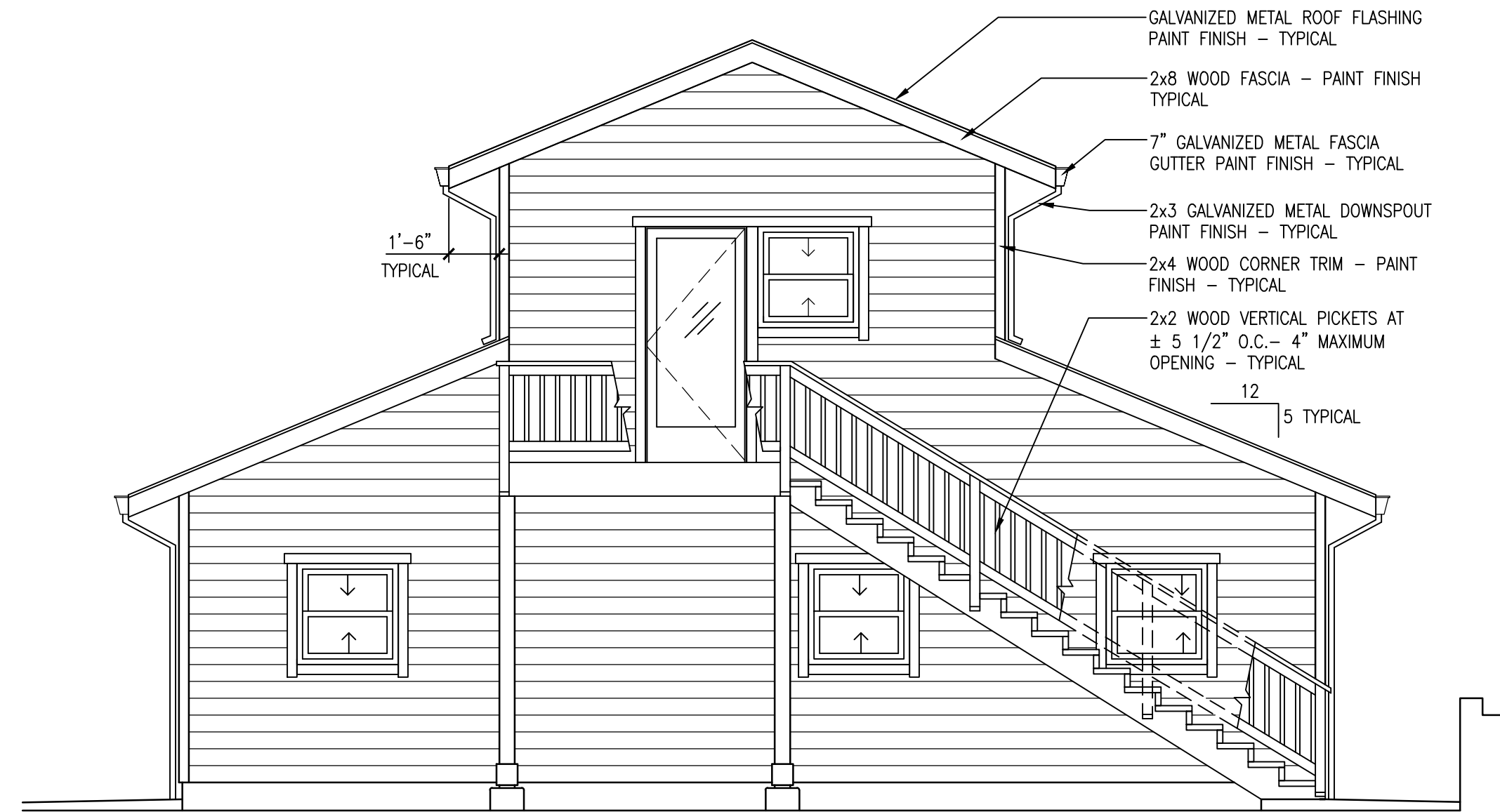
PROJECT FOR  
**ROBERT WORTH & MARGARET MCCARTHY**

PROJECT NAME  
**WORTH-McCARTHY BARN/POOL HOUSE**

PROJECT ADDRESS  
**4820 Pressley Road  
Santa Rosa CA 95404**

SHEET TITLE  
**ELECTRICAL PLANS**

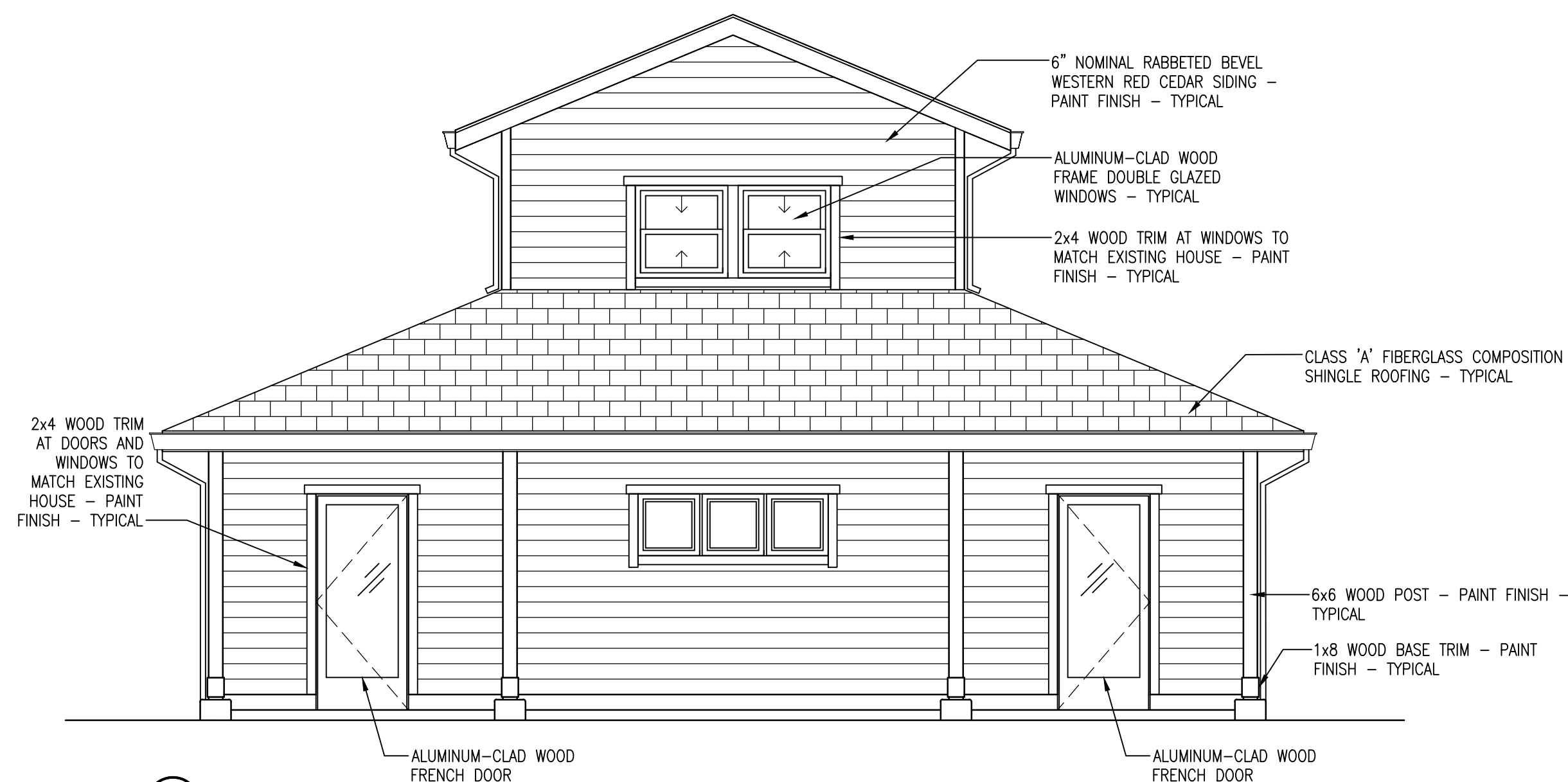
OWNER'S PROJECT NUMBER	
PROPERTY NUMBER APN 049-101-048	DEVELOPMENT NUMBER
DRAWN EP	CHECKED MSW
DATE 2/20/2007	SHEET NUMBER
SCALE AS SHOWN	<b>ME1.0</b>
JOB NUMBER 0616	SHEET - OF -



2 EAST ELEVATION  
1/4" = 1'-0"



1 NORTH ELEVATION  
1/4" = 1'-0"



4 WEST ELEVATION  
1/4" = 1'-0"



3 SOUTH ELEVATION  
1/4" = 1'-0"

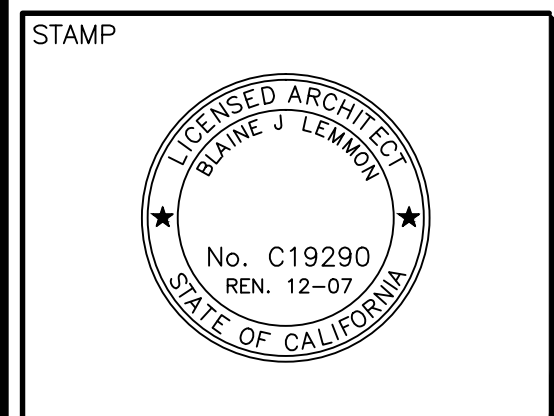
MARK	DATE	DESCRIPTION

**Lemmon-Woodruff Architecture, Inc.**  
ARCHITECTURE, PLANNING AND DEVELOPMENT



826 St. Helena Avenue  
Santa Rosa, CA 95404  
Tel: 707-578-6393  
Fax: 707-578-4738  
www.lwarch.com

CONSULTANT



PROJECT FOR  
**ROBERT WORTH & MARGARET MCCARTHY**

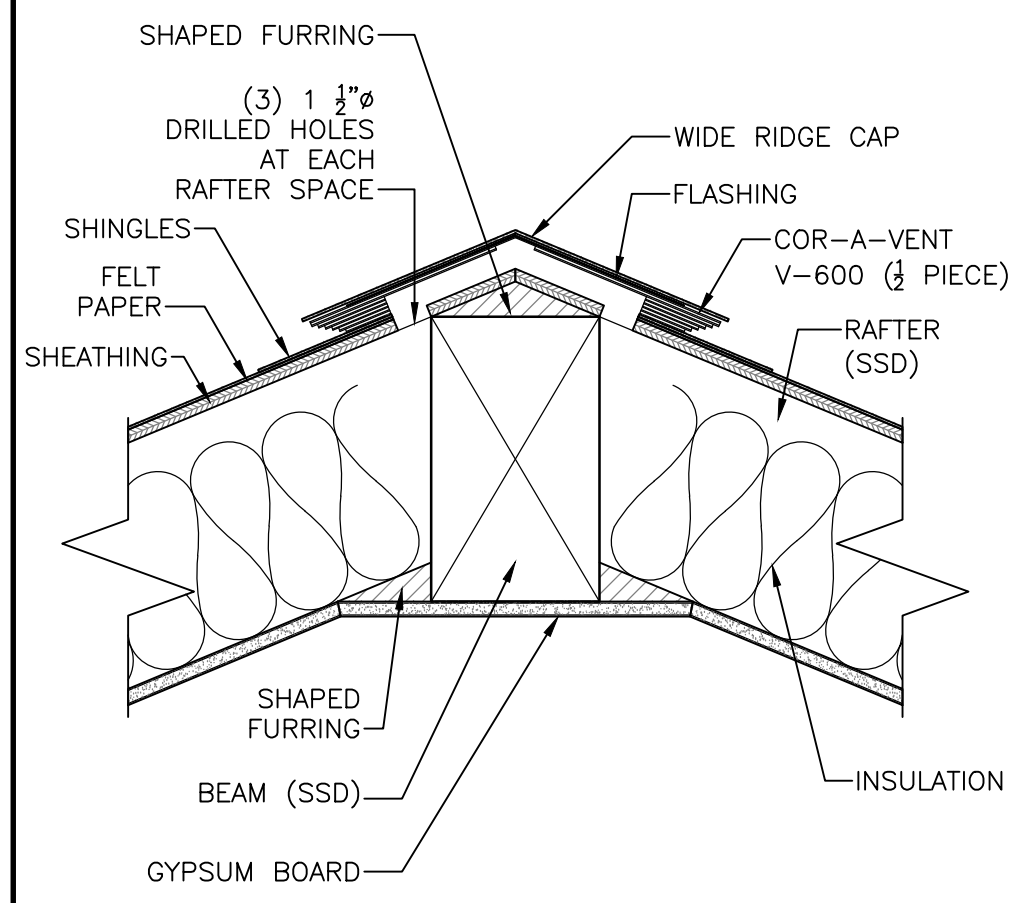
PROJECT NAME  
**WORTH-MCCARTHY BARN/POOL HOUSE**

PROJECT ADDRESS  
**4820 Pressley Road  
Santa Rosa CA 95404**

SHEET TITLE  
**ELEVATIONS & NOTES**

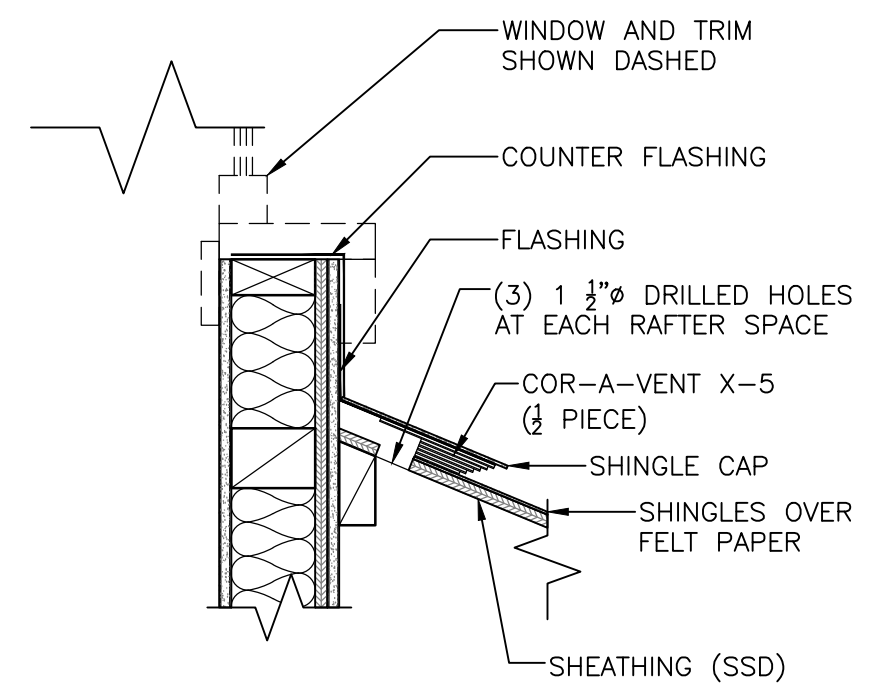
OWNER'S PROJECT NUMBER	
PROPERTY NUMBER APN 049-101-048	DEVELOPMENT NUMBER
DRAWN EP	CHECKED MSW
DATE 2/20/2007	SHEET NUMBER
SCALE AS SHOWN	A2.0
JOB NUMBER 0616	
SHEET - OF -	





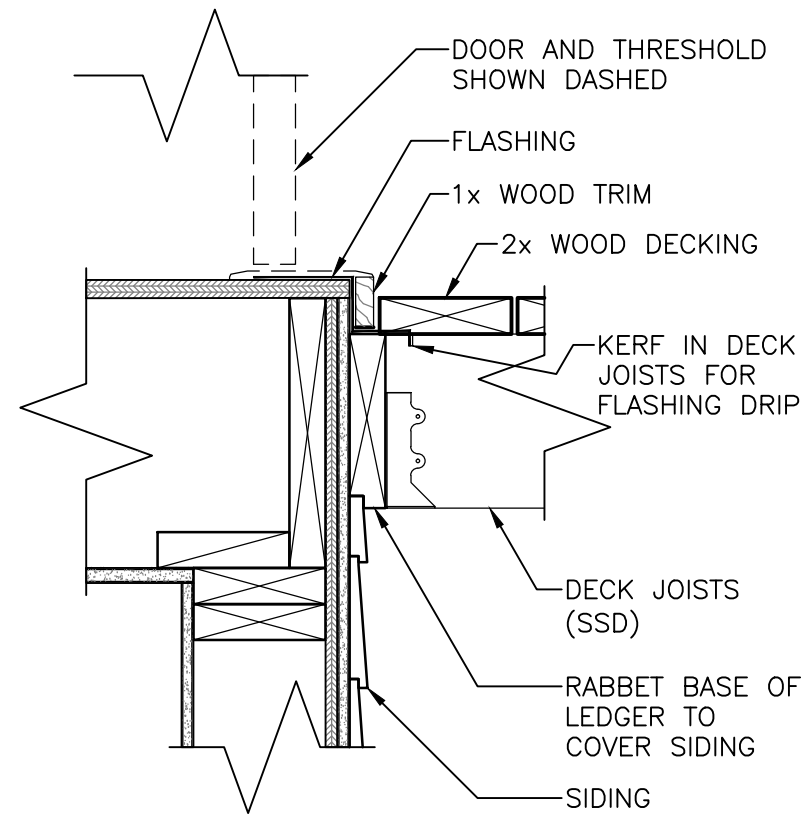
3 RIDGE VENT DETAIL

1/8" = 1'-0"



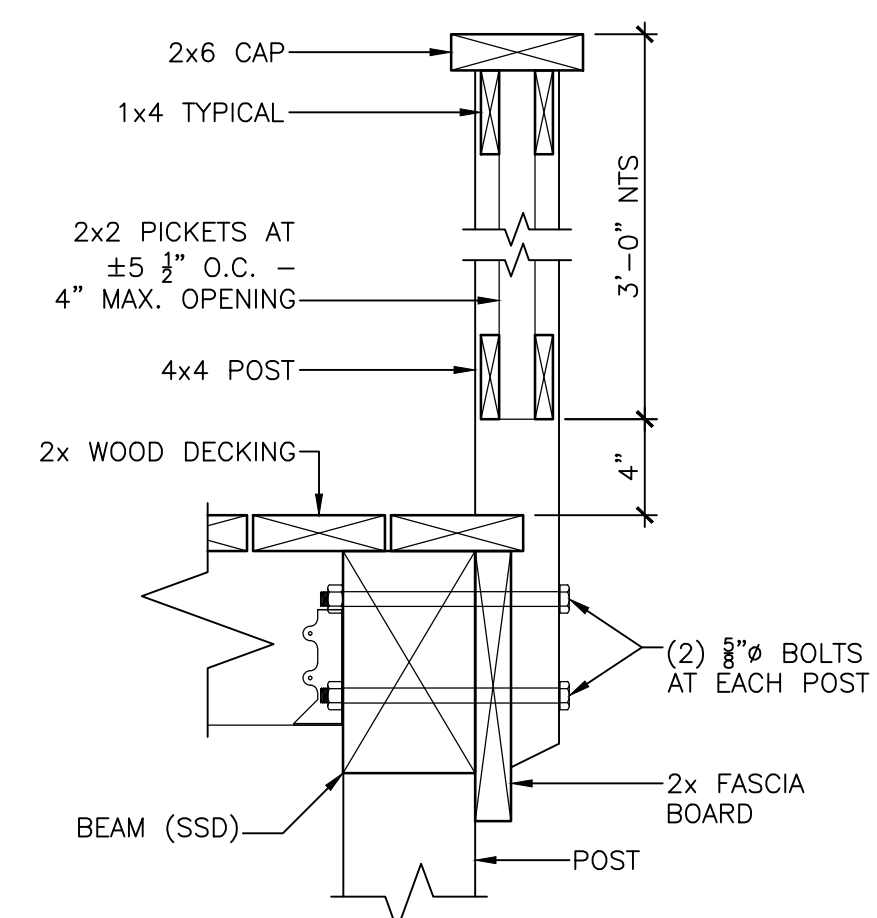
4 ROOF-TO-WALL VENT DETAIL

1/8" = 1'-0"



5 DECK-TO-WALL DETAIL

1/8" = 1'-0"



6 GUARDRAIL DETAIL

1/8" = 1'-0"

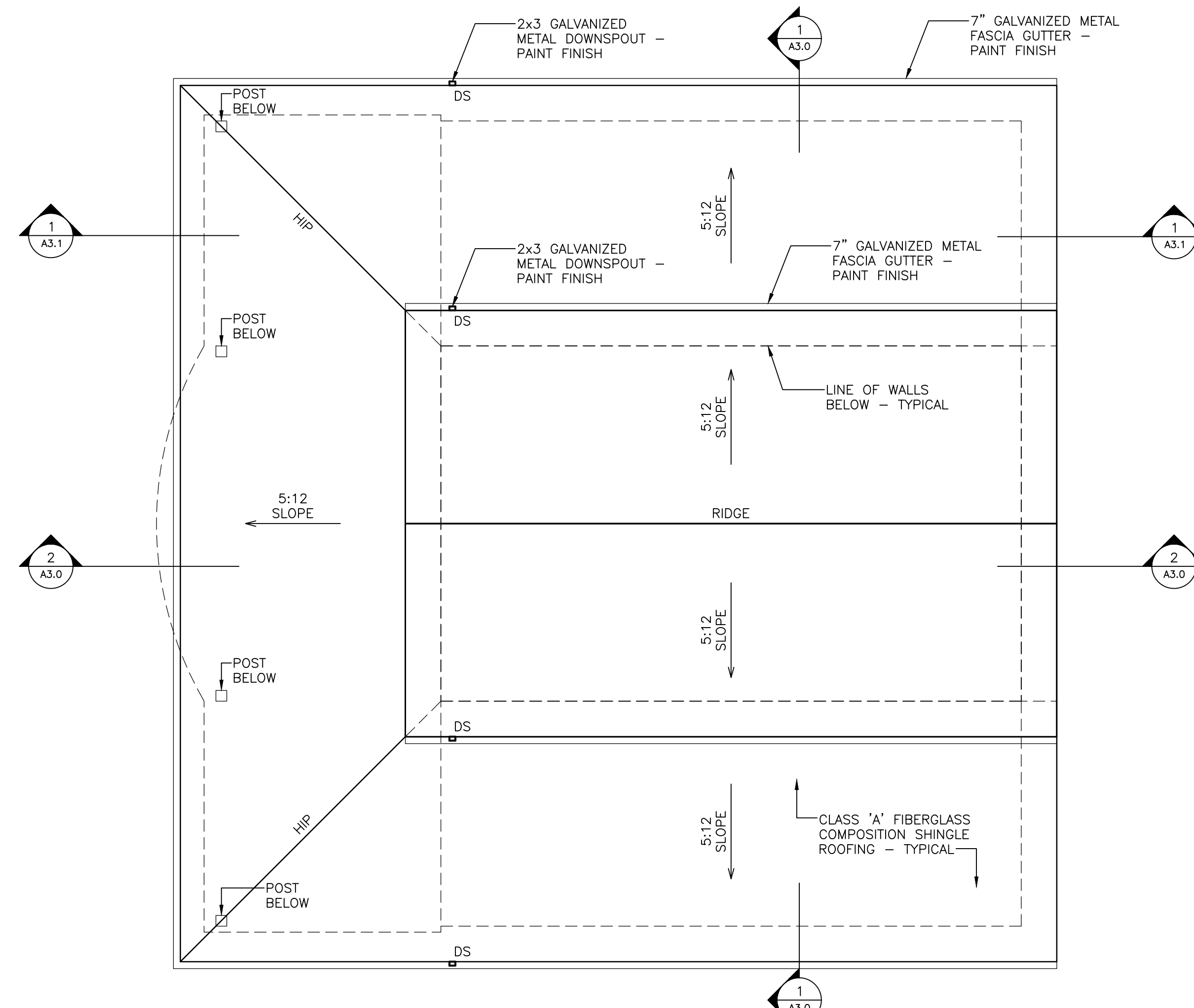
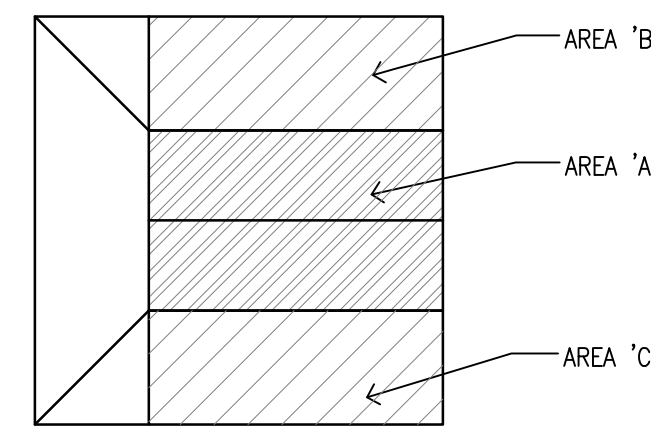
ATTIC VENTILATION CALCULATION

AREA 'A'

- PROVIDE 1 SQUARE FOOT OF VENTILATION PER 300 SQUARE FEET OF ATTIC AREA WITH 50% AT THE EAVES AND 50% AT 3 FEET MINIMUM ABOVE THE EAVES  
 $360.50 \text{ SQ. FT.} = 1.22 \text{ SQ. FT. (TOTAL VENTILATION REQUIRED)}$   
 $300 \text{ SQ. FT.} \times 1.22 \times 144 = 175.68 \text{ SQ. IN. (CONVERSION TO INCHES)}$   
 $175.68 \text{ SQ. IN.} = 87.84 \text{ SQ. IN. MINIMUM REQUIRED AT EAVES ( 50\% )}$   
 $87.84 \text{ SQ. IN. MINIMUM REQUIRED AT 3 FT ABOVE EAVES (50\%)}$
- AT EAVES: 1 1/2" Ø HOLE = 1.77 SQ. IN. NET FREE VENT AREA.  
 PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 24 RAFTER SPACES.  
 $3 \text{ HOLES} \times 1.77 \text{ SQ. IN. PER HOLE} \times 24 \text{ RAFTER SPACES} = 127.44 \text{ SQ. IN.} \checkmark \text{ok.}$
- ABOVE EAVES: COR-A-VENT V-600 RIDGE VENT  
 PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 24 RAFTER SPACES  
 $3 \text{ HOLES} \times 1.77 \text{ SQ. IN. PER HOLE} \times 24 \text{ RAFTER SPACES} = 127.44 \text{ SQ. IN.} \checkmark \text{ok.}$

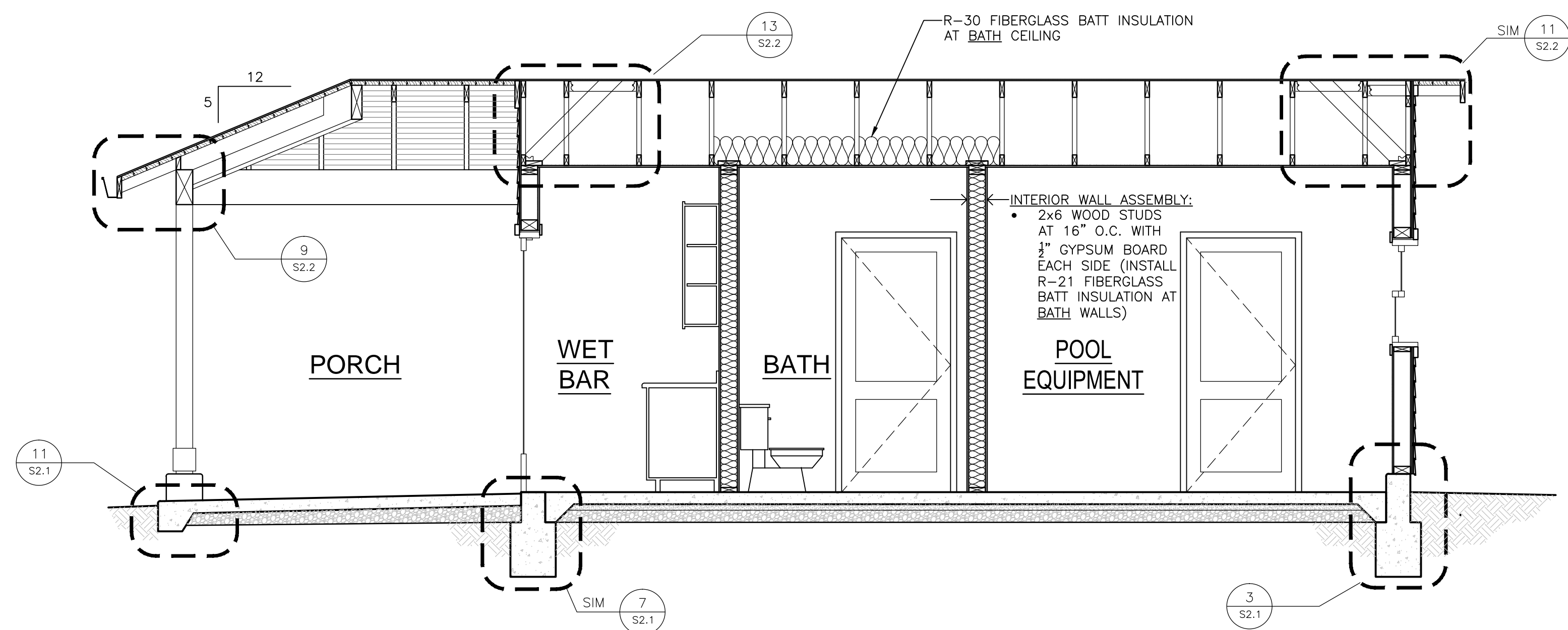
AREA 'B' AND AREA 'C'

- PROVIDE 1 SQUARE FOOT OF VENTILATION PER 300 SQUARE FEET OF ATTIC AREA WITH 50% AT THE EAVES AND 50% AT 3 FEET MINIMUM ABOVE THE EAVES  
 $232.75 \text{ SQ. FT.} = 0.77 \text{ SQ. FT. (TOTAL VENTILATION REQUIRED)}$   
 $300 \text{ SQ. FT.} \times 0.77 \times 144 = 110.88 \text{ SQ. IN. (CONVERSION TO INCHES)}$   
 $110.88 \text{ SQ. IN.} = 55.44 \text{ SQ. IN. MINIMUM REQUIRED AT EAVES ( 50\% )}$   
 $55.44 \text{ SQ. IN. MINIMUM REQUIRED AT 3 FT ABOVE EAVES (50\%)}$
- AT EAVES: 1 1/2" Ø HOLE = 1.77 SQ. IN. NET FREE VENT AREA.  
 PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 12 RAFTER SPACES.  
 $3 \text{ HOLES} \times 1.77 \text{ SQ. IN. PER HOLE} \times 12 \text{ RAFTER SPACES} = 63.72 \text{ SQ. IN.} \checkmark \text{ok.}$
- ABOVE EAVES: COR-A-VENT X-5 ROOF-TO-WALL VENT  
 PROVIDE (3) 1 1/2" Ø HOLES PER RAFTER SPACE x 12 RAFTER SPACES  
 $3 \text{ HOLES} \times 1.77 \text{ SQ. IN. PER HOLE} \times 12 \text{ RAFTER SPACES} = 63.72 \text{ SQ. IN.} \checkmark \text{ok.}$



2 ROOF PLAN

1/4" = 1'-0"



1 SECTION C

3/8" = 1'-0"

NOTE: SEE 1/A3.0 AND 2/A3.0 FOR ADDITIONAL INFORMATION

MARK	DATE	DESCRIPTION

**Lemmon-Woodruff Architecture, Inc.**  
 ARCHITECTURE, PLANNING AND DEVELOPMENT

826 St. Helena Avenue  
 Santa Rosa, CA 95404  
 Tel: 707-578-6393  
 Fax: 707-578-4738  
 www.lwarch.com

CONSULTANT

STAMP

PROJECT FOR  
**ROBERT WORTH & MARGARET MCCARTHY**

PROJECT NAME  
**WORTH-McCARTHY BARN/POOL HOUSE**

PROJECT ADDRESS  
**4820 Pressley Road  
 Santa Rosa CA 95404**

SHEET TITLE  
**SECTION & ROOF PLAN & VENT CALCULATION**

OWNER'S PROJECT NUMBER	
PROPERTY NUMBER APN 049-101-048	DEVELOPMENT NUMBER
DRAWN EP	CHECKED MSW
DATE 2/20/2007	SHEET NUMBER <b>A3.1</b>
SCALE AS SHOWN	JOB NUMBER 0616
SHEET - OF -	