

PAUL BUSSARD & LYNN DENLEY-BUSSARD

5232 Monte Verde Drive
Santa Rosa CA 95409

The Design & Building Works

THE DESIGN & BUILDING WORKS
3678 MONTECITO AVE
SANTA ROSA CA 95404
PHONE: (707) 526-9566
e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:
HAUSER ENGINEERING
2355 NORDVYKE AVE
SANTA ROSA CA 95403
707-483-4534
CONTACT: ERIC HAUSER

ENERGY CONSULTANT:
WOLFE ENERGY
1254 BAIRD ROAD
SANTA ROSA CA 95409
707-537-8031
CONTACT: ANN WOLFE

BUILDING DATA

APN: 153-430-030
ADDRESS: 5322 MONTE VERDE DRIVE
SANTA ROSA CA 95409
OCCUPANCY: R3
ZONING: RR-20
CONSTRUCTION: VB
SEISMIC DESIGN CATEGORY: D, $S_{DS} > 1.0$
FLOOR BUILDING AREA: EXISTING HOUSE: 1223 S.F.
NEW ADDITION: 590 S.F.
TOTAL AREA: 1813 S.F.
EXISTING STRUCTURES TO REMAIN:
SECOND UNIT (MOBILE HOME): 420 S.F.
GARAGE: 540 S.F.
STORAGE: 187 S.F.
COVERED BOAT STORAGE: 446 S.F.

GENERAL NOTES

- THESE PLANS ARE NOT INTENDED TO SHOW THE METHOD AND MEANS OF EXECUTION OF THE WORK, THAT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE CALIFORNIA TITLE 24 BUILDING CODE AS ADOPTED BY GOVERNING AGENCY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE FULL COMPLIANCE.
- DESIGNER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF INFORMATION CONTAINED IN OWNER-SUPPLIED DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW AND FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO COMMENCING WITH CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE DESIGNER PRIOR TO PERFORMANCE, IF ANY CONFLICT EXISTS BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS AND/OR ANY EXISTING SITE CONDITIONS.
- THESE DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE GOVERNED BY THE DIMENSIONS INDICATED ON THE DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND DESIGNER. ALL DIMENSIONS RELATED TO THE EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WITH THE WORK.
- ANY WASTE MATERIALS SHALL BE CONSIDERED THE PROPERTY OF THE CONTRACTOR, UNLESS CLAIMED BY THE OWNER, AND SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING NOISE, ODORS, DUST AND DEBRIS TO MINIMIZE IMPACTS ON SURROUNDING PROPERTIES AND ROADWAYS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION EQUIPMENT IS EQUIPPED WITH MANUFACTURER'S APPROVED MUFFLER BAFFLES. FAILURE TO DO SO MAY RESULT IN THE INSTANCE OF AN ORDER TO STOP WORK.

VICINITY MAP

PROJECT LOCATION

DRAWING INDEX

ARCHITECTURAL DRAWINGS
G0.0 COVER SHEET & SITE PLAN
G1.0 TITLE 24
A1.0 DEMOLITION FLOOR PLAN
A1.1 NEW FLOOR PLAN
A1.2 NEW ROOF PLAN & DETAILS
A2.0 ELEVATIONS
A2.1 ELEVATIONS
A3.0 SECTIONS
E1.0 ELECTRICAL FLOOR PLAN

STRUCTURAL DRAWINGS
SD1 STRUCTURAL NOTES
SD2 STRUCTURAL DETAILS
SD3 FOUNDATION DETAILS
SD4 ROOF DETAILS
S1.0 FOUNDATION & FLOOR FRAMING PLANS
S1.1 ROOF FRAMING PLAN

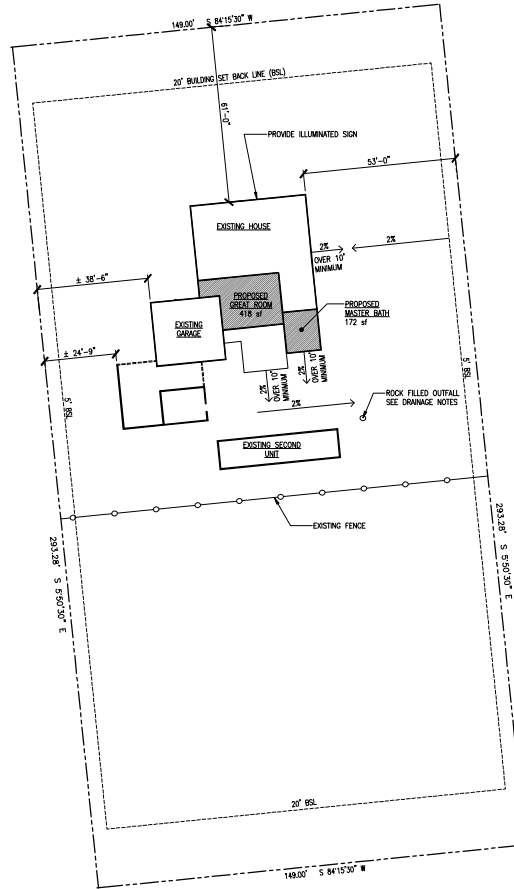
DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS: MANUFACTURED TRUSSES

2007 CBC SECTION 106.3.4.2 DEFERRED SUBMITTALS
SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL, WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

APPLICABLE CODES

2007 CALIFORNIA BUILDING CODE (CBC)
2007 CALIFORNIA MECHANICAL CODE (CMC)
2007 CALIFORNIA PLUMBING CODE (CPC)
2007 CALIFORNIA ELECTRICAL CODE (CEC)
2005 CALIFORNIA ENERGY CODE
ALL LOCAL CODES AND ORDINANCES



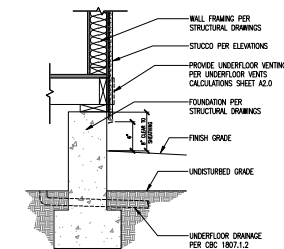
1 SITE PLAN

SITE PLAN NOTES

- The property lines shown herein are compiled from record data and neither represent a boundary survey nor the actual location of same.
- Site plan shows any and all setbacks, easements or other restrictions that may affect the construction of the project under this permit.
- Contractor shall verify grades, property lines and improvement locations prior to construction.
- Contractor shall protect existing plants to be retained from damage due to construction work related conditions.
- All pipes carrying roof or ground water in areas not intersecting water shall be sealed.
- Contractor shall locate and protect existing utilities from damage due to construction work or related conditions.
- All on-site sewer, water and gas construction shall conform to the latest edition of the California Plumbing Code (CPC) and any and all other requirements as adopted by the local building department and all other agencies having jurisdiction.
- Illuminated address requirements comply with all requirements of Santa Rosa city ordinance Section 19-16-501.2 and CBC Section 501.2.

DRAINAGE NOTES

- Provide drainage gradient of 2% around structures to street or approved drainage system per CBC Sec 1803.3. Drainage shall not affect adjacent properties.
- Provide 5% slope (or 2 percent if impervious surface is provided) away from building for 10' minimum (or if property line or obstruction prevents 10', provide a 5% slope away from building to an approved alternative method of diverting water away from building. Grading used for this purpose shall be sloped 2% where within 10' of building per CBC Sec 1803.3.
- Provide underfloor drainage where underfloor grade is below adjacent exterior grade per CBC 1807.1.2.
- Provide rock filled or other approved drainage outfall above grade on property.



2 DRAINAGE AT SPREAD FOOTING

PROJECT
ADDITION & REMODELING FOR PAUL BUSSARD & LYNN DENLEY-BUSSARD RESIDENCE
5232 MONTE VERDE DRIVE
SANTA ROSA CA 95409
APN: 153-430-030

PROJECT NO: 0803
DATE: 08/16/2009
SCALE: AS SHOWN

SHEET **G0.0** OF SHEETS

Certificate Of Compliance - Residential (Part 1 of 4) CF-1R

Building Addition
Project Title: Santa Rosa, CA
Address: 5225 Monte Verde Drive
City: Santa Rosa, CA
County: Santa Rosa, CA
Zip: 95404
Date: 8/13/2009

Penetration Surfaces
Type Area U-Factor SHGC True Cond. Slab Ceiling Type Location Comments

Table with 10 columns: #, Type, Area, U-Factor, SHGC, True Cond., Slab, Ceiling, Type, Location, Comments. Rows 1-19.

Interior and Exterior Shading
Exterior Shade Type SHGC Win. Area Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt.

Table with 10 columns: #, Exterior Shade Type, SHGC, Win. Area, Len., Hgt., Len., Hgt., Len., Hgt., Len., Hgt.

Thermal Mass For High Mass Design
Type Area Volume U-Value Inside Outside Location/Comments

Table with 6 columns: Type, Area, Volume, U-Value, Inside, Outside, Location/Comments. Rows 1-10.

Perimeter Losses
Type Length R-Value Location JA / V Reference Condition Status Location/Comments

Table with 7 columns: Type, Length, R-Value, Location, JA / V Reference, Condition, Status, Location/Comments. Rows 1-10.

Run Induction Time: 8/13/09 11:55:33 Run Code: 180219043

Page 1 of 12

Certificate Of Compliance - Residential (Part 2 of 4) CF-1

Building Addition
Project Title: Santa Rosa, CA
Address: 5225 Monte Verde Drive
City: Santa Rosa, CA
County: Santa Rosa, CA
Zip: 95404
Date: 8/13/2009

Penetration Surfaces
Type Area U-Factor SHGC True Cond. Slab Ceiling Type Location Comments

Table with 10 columns: #, Type, Area, U-Factor, SHGC, True Cond., Slab, Ceiling, Type, Location, Comments. Rows 1-19.

Interior and Exterior Shading
Exterior Shade Type SHGC Win. Area Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt.

Table with 10 columns: #, Exterior Shade Type, SHGC, Win. Area, Len., Hgt., Len., Hgt., Len., Hgt., Len., Hgt.

Thermal Mass For High Mass Design
Type Area Volume U-Value Inside Outside Location/Comments

Table with 6 columns: Type, Area, Volume, U-Value, Inside, Outside, Location/Comments. Rows 1-10.

Perimeter Losses
Type Length R-Value Location JA / V Reference Condition Status Location/Comments

Table with 7 columns: Type, Length, R-Value, Location, JA / V Reference, Condition, Status, Location/Comments. Rows 1-10.

Run Induction Time: 8/13/09 11:55:33 Run Code: 137619043

Page 1 of 12

Certificate Of Compliance - Residential (Part 2 of 4) CF-1R

Building Addition
Project Title: Santa Rosa, CA
Address: 5225 Monte Verde Drive
City: Santa Rosa, CA
County: Santa Rosa, CA
Zip: 95404
Date: 8/13/2009

Penetration Surfaces
Type Area U-Factor SHGC True Cond. Slab Ceiling Type Location Comments

Table with 10 columns: #, Type, Area, U-Factor, SHGC, True Cond., Slab, Ceiling, Type, Location, Comments. Rows 1-19.

Interior and Exterior Shading
Exterior Shade Type SHGC Win. Area Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt.

Table with 10 columns: #, Exterior Shade Type, SHGC, Win. Area, Len., Hgt., Len., Hgt., Len., Hgt., Len., Hgt.

Thermal Mass For High Mass Design
Type Area Volume U-Value Inside Outside Location/Comments

Table with 6 columns: Type, Area, Volume, U-Value, Inside, Outside, Location/Comments. Rows 1-10.

Perimeter Losses
Type Length R-Value Location JA / V Reference Condition Status Location/Comments

Table with 7 columns: Type, Length, R-Value, Location, JA / V Reference, Condition, Status, Location/Comments. Rows 1-10.

Run Induction Time: 8/13/09 11:55:33 Run Code: 180219043

Page 1 of 12

Certificate Of Compliance - Residential (Part 3 of 4) CF-1R

Building Addition
Project Title: Santa Rosa, CA
Address: 5225 Monte Verde Drive
City: Santa Rosa, CA
County: Santa Rosa, CA
Zip: 95404
Date: 8/13/2009

Penetration Surfaces
Type Area U-Factor SHGC True Cond. Slab Ceiling Type Location Comments

Table with 10 columns: #, Type, Area, U-Factor, SHGC, True Cond., Slab, Ceiling, Type, Location, Comments. Rows 1-19.

Interior and Exterior Shading
Exterior Shade Type SHGC Win. Area Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt. Len. Hgt.

Table with 10 columns: #, Exterior Shade Type, SHGC, Win. Area, Len., Hgt., Len., Hgt., Len., Hgt., Len., Hgt.

Thermal Mass For High Mass Design
Type Area Volume U-Value Inside Outside Location/Comments

Table with 6 columns: Type, Area, Volume, U-Value, Inside, Outside, Location/Comments. Rows 1-10.

Perimeter Losses
Type Length R-Value Location JA / V Reference Condition Status Location/Comments

Table with 7 columns: Type, Length, R-Value, Location, JA / V Reference, Condition, Status, Location/Comments. Rows 1-10.

Run Induction Time: 8/13/09 11:55:33 Run Code: 180219043

Page 1 of 12

Certificate Of Compliance - Residential (Part 4 of 4) CF-1R

Building Addition
Project Title: Santa Rosa, CA
Address: 5225 Monte Verde Drive
City: Santa Rosa, CA
County: Santa Rosa, CA
Zip: 95404
Date: 8/13/2009

Special Features and Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Mandatory Measures Summary - Residential (Page 1 of 2) MF-1R

NOTE: Compliance with the measures that are not checked indicates that the compliance approach used does not require compliance with the measure.

DESCRIPTION

Building Envelope Measures

1. Insulation

2. Air Leakage

3. Fenestration

4. Thermal Mass

5. Perimeter Losses

6. Radiant Cooling

7. Radiant Heating

8. Space Conditioning

9. Lighting

10. Water

11. Energy

12. Other

13. Other

14. Other

15. Other

16. Other

17. Other

18. Other

19. Other

20. Other

21. Other

22. Other

23. Other

24. Other

25. Other

26. Other

27. Other

28. Other

29. Other

30. Other

31. Other

32. Other

33. Other

34. Other

35. Other

36. Other

37. Other

38. Other

39. Other

40. Other

41. Other

Mandatory Measures Summary - Residential (Page 2 of 2) MF-1R

NOTE: Compliance with the measures that are not checked indicates that the compliance approach used does not require compliance with the measure.

DESCRIPTION

Space Conditioning

1. Heating

2. Cooling

3. Ventilation

4. Radiant Cooling

5. Radiant Heating

6. Other

7. Other

8. Other

9. Other

10. Other

11. Other

12. Other

13. Other

14. Other

15. Other

16. Other

17. Other

18. Other

19. Other

20. Other

21. Other

22. Other

23. Other

24. Other

25. Other

26. Other

27. Other

28. Other

29. Other

30. Other

31. Other

32. Other

33. Other

34. Other

35. Other

36. Other

37. Other

38. Other

39. Other

40. Other

41. Other

Certificate Of Compliance - Residential (Part 4 of 4) CF-1R

Building Addition
Project Title: Santa Rosa, CA
Address: 5225 Monte Verde Drive
City: Santa Rosa, CA
County: Santa Rosa, CA
Zip: 95404
Date: 8/13/2009

Special Features and Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions

Modeling Assumptions



THE DESIGN & BUILDING WORKS
3678 MONTECITO AVE
SANTA ROSA CA 95404
PHONE: (707) 526-9566
e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

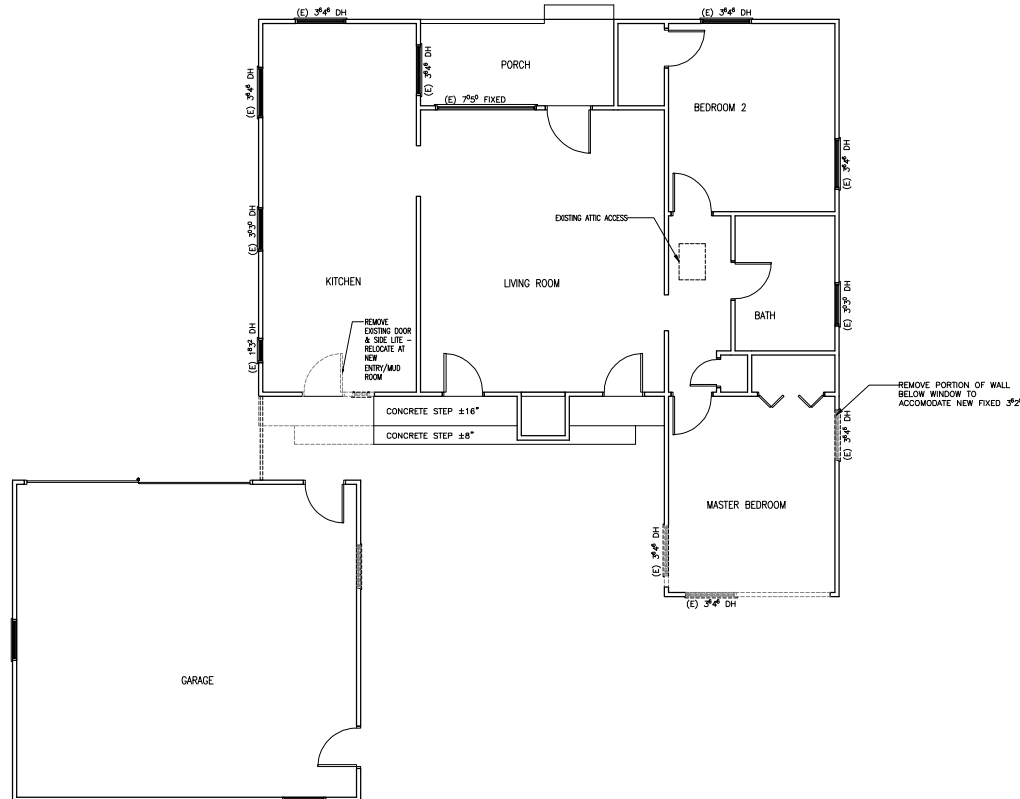
COMPLIANCE STATEMENT
The contractor certifies that the building features and specifications needed to comply with Title 24, Part 1 and 8 of the California Code of Regulations, and the administrative requirements to implement them. This certificate shall be retained by the contractor until record books are completed.

CONSULTANTS:
STRUCTURAL ENGINEER:
HAUSER ENGINEERING
2255 NORDVYKE AVE
SANTA ROSA CA 95403
707-483-4534
CONTACT: ERIC HAUSER

ENERGY CONSULTANT:
WOLFE CONSULTANT
1254 BARD ROAD
SANTA ROSA CA 95409
707-537-8031
CONTACT: ANN WOLFE

PROJECT
ADDITION & REMODELING
FOR
PAUL BUSSARD &
LYNN DENLEY-BUSSARD
RESIDENCE
5222 MONTE VERDE DRIVE
SANTA ROSA CA 95409

PROJECT NO: 0803
DATE: 08/16/2009
SCALE: AS SHOWN
SHEET G1.0 OF SHEETS



LEGEND	
	EXISTING WALL TO REMAIN
	ELEMENT TO BE REMOVED

EXISTING CONDITIONS

- Existing elements shown on these plans represent assumed conditions based on existing plans. If made available, documentation by others and known standard construction practices. It is not warranted that the conditions shown are fully representative of those existing. Owner and contractor shall investigate existing conditions prior to start of construction.
- Owner and contractor should be aware that exposed conditions may differ from those which are concealed by finishes, occur below grade or are subject to changes due to time, environment or modification by others.
- Existing conditions indicated as existing (E) or verify in field (VF) require that the contractor either verify the presence of such conditions, provide new materials to create such conditions, or notify Designer of conflicting conditions.
- Owner and contractor shall immediately consult with the Designer where visual observation or demolition exposes existing conditions which conflict with the construction documents or reveal damaged or deteriorated structural or architectural elements that are to remain as part of the finished product.
- Owner or contractor should notify local governing authority if visual inspection or demolition reveals the presence of hazardous materials in any form at the project site, including but not limited to, asbestos, asbestos products, PCB's or other toxic substances.
- Contractor is responsible for the design of all temporary shoring and bracing of the existing structure during construction.
- Demolition plans are to assist the contractor in the general determination of those items to be removed and relocated. Contractor is to review all drawings and specifications to determine the complete scope of demolition.
- The contractor shall be responsible for repairing all damage to existing items to remain as part of the expansion and remodeling.

The Design & Building Works

THE DESIGN & BUILDING WORKS
 3678 MONTECITO AVE.
 SANTA ROSA CA 95404
 PHONE: (707) 526-9566
 e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:
 HAUSER ENGINEERING
 2355 NORDVYKE AVE
 SANTA ROSA CA 95403
 707-483-4534
 CONTACT: ERIC HAUSER

ENERGY CONSULTANT:
 WOLFE ENERGY
 1254 BAIRD ROAD
 SANTA ROSA CA 95409
 707-537-8031
 CONTACT: ANN WOLFE

PROJECT

ADDITION & REMODELING FOR PAUL BUSSARD & LYNN DENLEY-BUSSARD RESIDENCE
 5232 MONTE VERDE DRIVE
 SANTA ROSA CA 95409

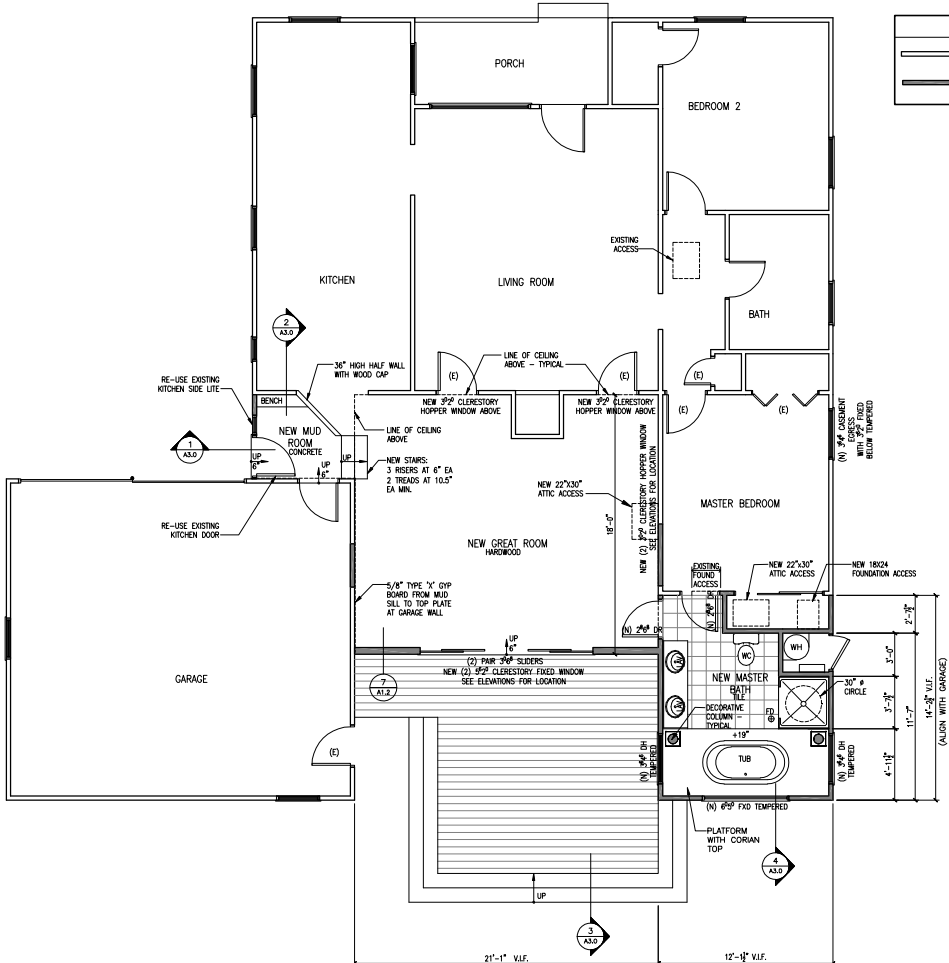
APN: 153-430-020

PROJECT NO: 0803
 DATE: 08/18/2009
 SCALE: AS SHOWN

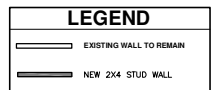
SHEET **A1.0** OF SHEETS

1 DEMOLITION FLOOR PLAN
 1/4" = 1'-0"





NEW FLOOR PLAN
1/4" = 1'-0"



WATER HEATER

1. Install water heater with drain pan.
2. Install pressure relief valve with vent and drain to outside 3/4" min pipe, no threads allowed in bottom of piping, comply with chapter 5 of the CBC, & section 608.3 of the CPC.
3. Access door shall be tight fitting with weather stripping.
4. Clearance from combustible shall be as specified in the listing or on the rating plate of appliance, CPC 508.0.
5. Water heater shall be strapped to resist horizontal displacement per CPC 510.3. The method for strapping shall comply with the State Architect guidelines.
6. Strapping shall be located at points within upper and lower third of its vertical height.
7. Strapping at the lower point shall be 4" above the controls.
8. Strapping shall be secured by DSA approved seismic straps applied per manufacturer's specifications.
9. Provide two vents, obtaining high and low combustion: 1 sq. in. per 4000 BTU/H input at each vent.

FLOOR PLAN NOTES

1. Stair riser heights shall be between a minimum of 4" and a maximum of 7.75", with a maximum variation between riser heights of 3/8". Stair treads shall be no less than 11" minimum in depth. Provide "N" minimum - 1 1/4" maximum nosing if tread is less than 11" wide. (CBC Sec 1009.3, Ec. 9) Handrails shall be between a minimum of 34" and a maximum of 38" above tread nosing. Stair width shall be a minimum of 36" and minimum headroom clearance shall be 6'-6" (CBC 1009.2) Guardrails shall have a minimum height of 36", with a 4" maximum opening. (CBC Chapter 10)
2. Exterior windows/doors added and/or replaced shall have a fenestration U-factor of 0.67 or less.
3. Showers and tubs with showers require a smooth, hard, non-absorbent surface over a moisture resistant underlayment up to 70" above the drain inlet. (CBC Sec 1210.3, CPC Sec 412.7) Provide cement, floor cement or glass-mat gypsum backing board for tiles at bath and shower. (CBC Sec 2009.2)
4. Provide pressure-balance or thermostatic mixing valve controls. (CPC 418.0) Shower compartment, regardless of shape, shall have a minimum finished interior of 1204 square inches and shall also be capable of encompassing a 30" diameter circle. These dimensions to be kept for a minimum of 70" above the drain outlet. (CBC 413.7)
5. Provide curtain rod or approved enclosure material. Shower doors shall swing outwards and maintain 2" opening for egress. Shower and/or tub enclosures shall be tempered glazing or other approved shatter-proof material specifically for the use. (CBC Sec 2900.3 & CPC 413.6)
6. Pre-manufactured items including, but not limited to, fireplaces, wood burning stoves, fixtures, equipment and appliances shall be installed as per manufacturer's specifications.
7. Water closets shall be located in a space not less than 30" clear in width with 24" minimum clearance in floor. (CPC 402.6)
8. Contractor shall verify in field (V.I.F) exact window dimensions, rough opening sizes and all glazing requirements prior to placing order with window manufacturer.
9. See also Title 24 energy compliance documents for additional information, requirements and mandatory energy compliance accessories.

ELECTRICAL, MECHANICAL AND PLUMBING NOTES

1. Do not install electrical panels larger than 100 sq. in. in fire walls. Never install electrical panels in closets. Place nothing within 36" of the front of panels.
2. Recessed luminaires in insulated ceilings shall be rated for zero-clearance insulation cover (IC), and shall include a label certifying air-tight (AT) designation.
3. Outlets in bathrooms shall be supplied by at least one 20-amp branch circuit. Such circuits shall have no other outlets. (CPC Sec 210.11(C)(3))
4. Light fixtures in tub and shower areas shall be labeled "suitable for damp locations".
5. GFCI outlets must be installed within 6' of kitchen sinks, in bathrooms, in under floor spaces, in exterior outlets with direct access to grade and in all garage outlets not dedicated to a single device or appliance. Provide at least one exterior outlet. (CPC Sec 210.8(A))
6. Receptacles must be installed at 12" OC maximum in walls and 6' from the end of a wall. (CPC Sec 210.52(C)) Walls longer than 2' and halls 10' or longer must have a receptacle. (CPC Sec 210.52(A) & (F))
7. A smoke alarm (detector) shall be located in each sleeping room, in each corridor outside of bedrooms and on each floor and basement (if any) except for alterations or repairs not exceeding \$1,000. (CBC Sec 907.2.10.1.2) New smoke alarms (detectors) shall receive their primary power from the building wiring and shall be equipped with a battery backup. (CBC Sec 907.2.10.2) All smoke alarms (detectors) shall sound an alarm audible to all sleeping areas. (CBC Sec 907.2.10.3)
8. Water closets, either flush tank, flushometer tank, or flushometer valve operated, shall have an average consumption of not more than 1.6 gallons of water per flush. (CPC 402.2)
9. Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of approved type.
10. Fan & duct opening (environmental air ducts) shall terminate at least 3' from property lines or openings into the building. Plumbing vents within 10' of operable skylights shall extend a minimum of 3' above such openings. (CPC Sec 504.5 & CPC Sec 906.2)
11. Plumbing contractor shall consolidate vents into a minimal amount of roof penetrations.
12. Provide all trim necessary for the correct operation of all fixtures and equipment.
13. Provide ventilation for products of combustion to outside air.
14. Electrical, Mechanical and Plumbing Plan is diagrammatic and illustrates the intent of the design. Contractor shall ensure that all related work conforms to the requirements of the local regulatory agencies having jurisdiction.
15. See sheet E1.0 for electrical layout and additional electrical notes.

The Design & Building Works

THE DESIGN & BUILDING WORKS
3678 MONTECITO AVE
SANTA ROSA CA 95404
PHONE: (707) 526-9566
e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:

HAUSER ENGINEERING
2255 NORDVYKE AVE
SANTA ROSA CA 95403
707-483-4534
CONTACT: ERIC HAUSER

ENERGY CONSULTANT:

WOLFE ENERGY
1254 BAIRD ROAD
SANTA ROSA CA 95409
707-537-8031
CONTACT: ANN WOLFE

PROJECT

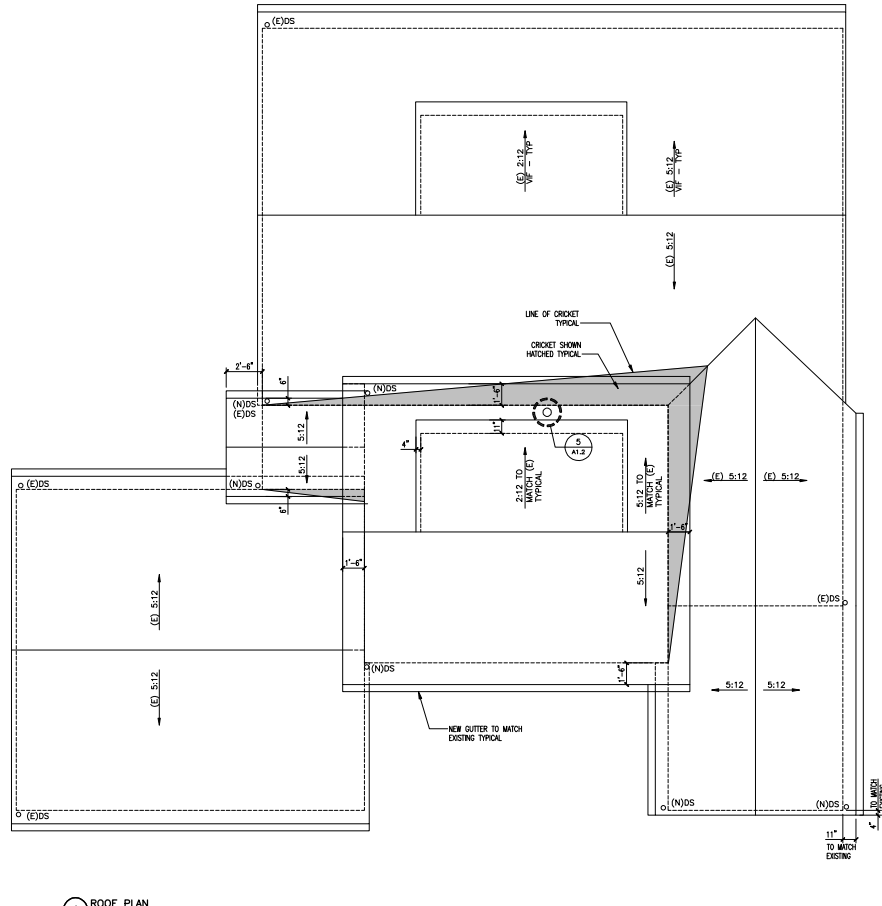
ADDITION & REMODELING

FOR
PAUL BUSSARD &
LYNN DENLEY-BUSSARD
RESIDENCE
5232 MONTE VERDE DRIVE
SANTA ROSA CA 95409

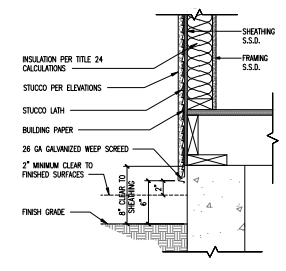
APN: 153-430-030

PROJECT NO: 0803
DATE: 08/16/2009
SCALE: AS SHOWN

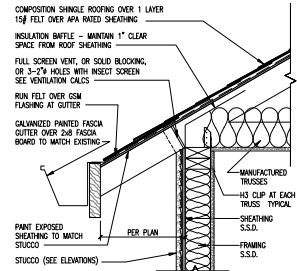
SHEET **A1.1** OF SHEETS



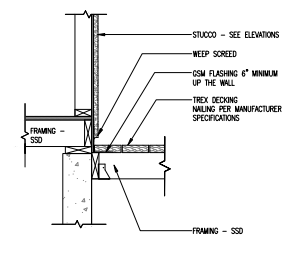
1 ROOF PLAN
1/4" = 1'-0"



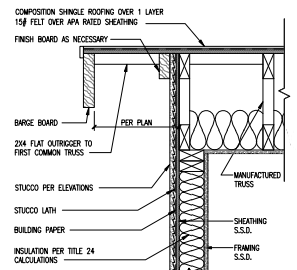
6 WEEP SCREED
1/2" = 1'-0"



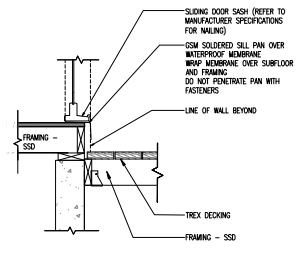
2 EAVE DETAIL
1/2" = 1'-0"



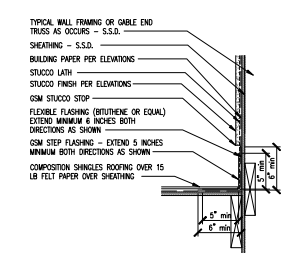
7 DECK ATTACHMENT AT WALL
1/2" = 1'-0"



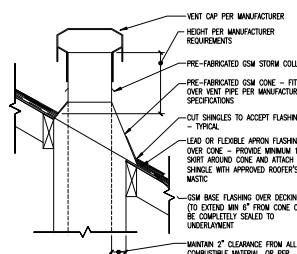
3 RAKE DETAIL
1/2" = 1'-0"



8 SILL AT SLIDING GLASS DOOR
1/2" = 1'-0"



4 ROOF PARALLEL TO WALL
1/2" = 1'-0"



5 GAS B-VENT PENETRATION AT ROOF
1/2" = 1'-0"

NOTE:
VENTING SYSTEM MUST CONFORM WITH ALL LOCAL CODES AND/OR WITH CURRENT NATIONAL FUEL GAS CODE ANSI Z223.1/NFPA 54

The Design & Building Works

THE DESIGN & BUILDING WORKS
3678 MONTECITO AVE
SANTA ROSA CA 95404
PHONE: (707) 526-9566
e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:
HAUSER ENGINEERING
1254 BAIRD ROAD
SANTA ROSA CA 95403
707-483-4534
CONTACT: ERIC HAUSER

ENERGY CONSULTANT:
WOLFE ENERGY
1254 BAIRD ROAD
SANTA ROSA CA 95409
707-537-8031
CONTACT: ANN WOLFE

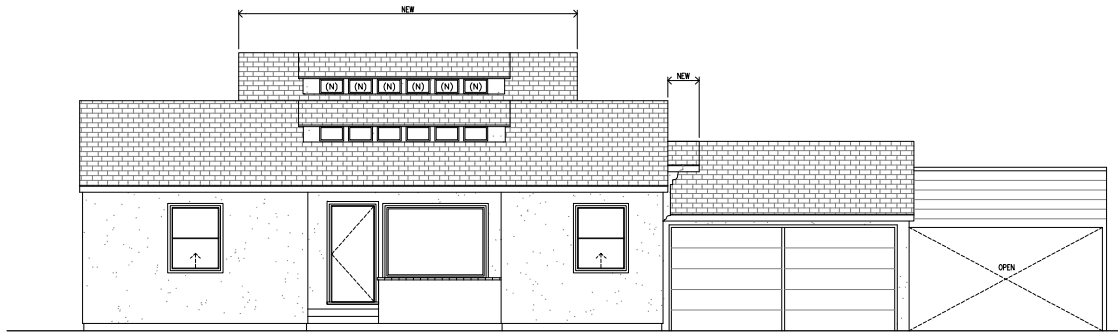
PROJECT

ADDITION & REMODELING FOR PAUL BUSSARD & LYNN DENLEY-BUSSARD RESIDENCE
5232 MONTE VERDE DRIVE
SANTA ROSA CA 95409

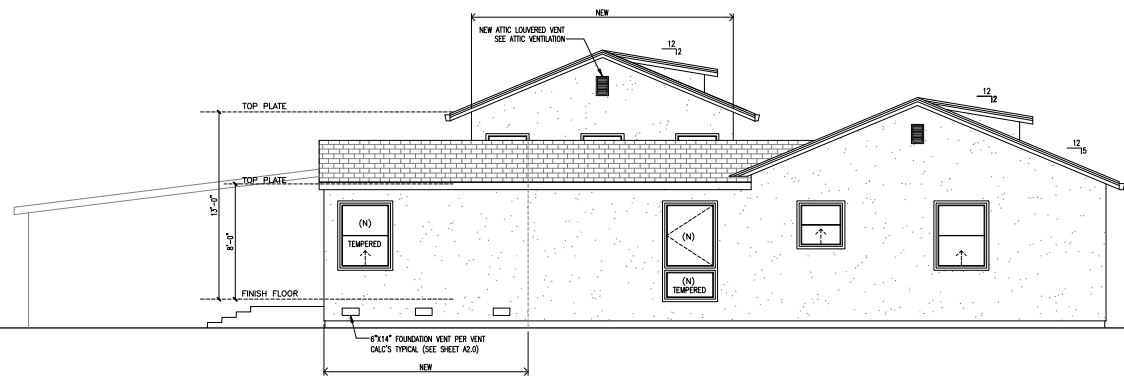
APN: 153-430-000

PROJECT NO: 0803
DATE: 08/18/2009
SCALE: AS SHOWN

SHEET **A1.2** OF SHEETS



1 NORTH ELEVATION
1/4" = 1'-0"



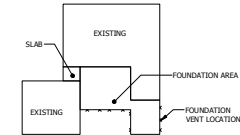
2 EAST ELEVATION
1/4" = 1'-0"

UNDERFLOOR VENTS

FOUNDATION AREA: 549 SQ. FT.
 VENT AREA (1/150 REQUIRED): 3.66 SQ. FT.
 VENT SIZE: 6"X4" = .65 SQ. FT.
 NUMBER OF VENTS: 6"X4" (6) X .48 SQ. FT. = 3.84 SQ. FT.
 VENTING PROVIDED: = 3.84 SQ. FT.

NOTES:

1. LOCATE FOUNDATION VENTS AS CLOSE TO CORNERS AS PRACTICABLE.
2. VENTS TO BE SPACED APPROXIMATELY 6' APART AND EQUAL ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES.
3. VENTS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENING OF 1/4" MAX. IN DIMENSION.
4. PROVIDE ADDITIONAL VENTS TO MATCH ANY EXISTING VENTS BLOCKED BY NEW CONSTRUCTION.



ATTIC VENTILATION

VENTS PROVIDED:

- (3) 2" Ø SCREENED VENTED BLOCS (0.65 SQ. FT. FREE FLOW AREA)
 14"X24" LOUVERED ATTIC VENT (1.44 SQ. FT. FREE FLOW AREA)

AREA 'A'
 ROOF AREA: 41 SQ. FT.
 VENT AREA (1/150 REQUIRED) 0.27 SQ. FT.
 USE (5) (3) 2"Ø SCREENED VENTED BLOCS = 0.32 SQ. FT.

AREA 'B'
 ROOF AREA: 377 SQ. FT.
 VENT AREA (1/300 REQUIRED) 1.26 SQ. FT.
 "LOW" VENTS: 50% AT SLOTT: 0.63 SQ. FT.
 "HIGH" VENTS: 50% AT RIDGE: 0.63 SQ. FT.

"LOW" VENTS AT SLOTT:
 USE (10) (3) 2"Ø SCREENED VENTED BLOCS = 0.65 SQ. FT.

"HIGH" VENTS AT RIDGE:
 USE (3) 14"X24" LOUVERED ATTIC VENT = 1.44 SQ. FT.

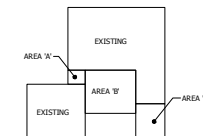
AREA 'C'
 ROOF AREA: 172 SQ. FT.
 VENT AREA (1/300 REQUIRED) 0.58 SQ. FT.
 "LOW" VENTS: 50% AT RIDGE: 0.29 SQ. FT.
 "HIGH" VENTS: 50% AT SLOTT: 0.29 SQ. FT.

"LOW" VENTS AT SLOTT:
 USE (5) (3) 2"Ø SCREENED VENTED BLOCS = 0.32 SQ. FT.

"HIGH" VENTS AT RIDGE:
 USE (1) 14"X24" LOUVERED ATTIC VENT = 1.44 SQ. FT.

NOTES:

1. THE ATTIC AREA SHALL BE PROVIDED WITH CROSS VENTILATION FOR EACH SEPARATE SPACE.
2. OPENING SHALL BE PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW.
3. PROVIDE AIR CIRCULATION AT TOP OF RAFTERS.
4. FOR "HIGH" AND "LOW" VENT DISTRIBUTION (1/200)
 - PLACEMENT OF "HIGH" VENTS SHALL BE A MINIMUM 30" ABOVE THE "LOW" VENTING.
 - DISTRIBUTE "LOW" VENTS EVENLY THROUGHOUT ROOF LINE.
 - PROVIDE AIR CIRCULATION AT TOP OF RAFTERS.
5. VENTS SHALL BE COVERED WITH CORROSION RESISTANT MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION.
6. PROVIDE ADDITIONAL VENTS TO MATCH ANY EXISTING VENTS BLOCKED BY NEW CONSTRUCTION.



The Design & Building Works

THE DESIGN & BUILDING WORKS
 3678 MONTECITO AVE.
 SANTA ROSA CA 95404
 PHONE: (707) 526-9566
 e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:

HAUSER ENGINEERING
 5255 NORDVYKE AVE
 SANTA ROSA CA 95403
 707-483-4534
 CONTACT: ERIC HAUSER

ENERGY CONSULTANT:

WOLFE ENERGY
 1254 BAIRD ROAD
 SANTA ROSA CA 95409
 707-537-8031
 CONTACT: ANN WOLFE

PROJECT

ADDITION & REMODELING FOR PAUL BUSSARD & LYNN DENLEY-BUSSARD RESIDENCE

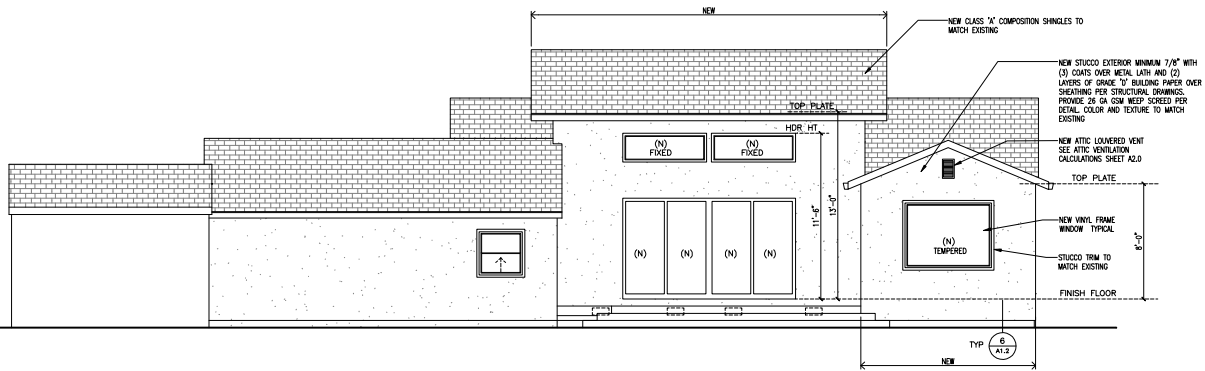
5232 MONTE VERDE DRIVE
 SANTA ROSA CA 95409

APN: 153-430-020

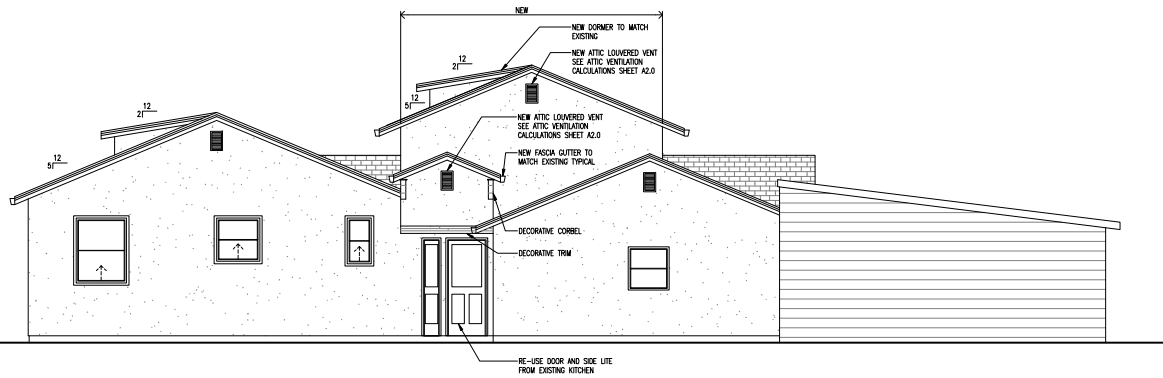
PROJECT NO: 0803
 DATE: 08/18/2009
 SCALE: AS SHOWN

SHEET **A2.0**

OF SHEETS



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

The Design & Building Works

THE DESIGN & BUILDING WORKS
3678 MONTECITO AVE.
SANTA ROSA CA 95404
PHONE: (707) 526-9566
e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:

HAUSER ENGINEERING
5255 NORDVYKE AVE
SANTA ROSA CA 95403
707-483-4534
CONTACT: ERIC HAUSER

ENERGY CONSULTANT:

WOLFE ENERGY
1254 BAIRD ROAD
SANTA ROSA CA 95409
707-537-8031
CONTACT: ANN WOLFE

PROJECT

**ADDITION & REMODELING
FOR
PAUL BUSSARD &
LYNN DENLEY-BUSSARD
RESIDENCE**

5232 MONTE VERDE DRIVE
SANTA ROSA CA 95409

APN: 153-430-020

PROJECT NO: 0803
DATE: 08/18/2009
SCALE: AS SHOWN

SHEET **A2.1** OF SHEETS

The Design & Building Works

THE DESIGN & BUILDING WORKS
 3678 MONTECITO AVE.
 SANTA ROSA CA 95404
 PHONE: (707) 526-9566
 e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:

HAUSER ENGINEERING
 2385 NORDVYKE AVE
 SANTA ROSA CA 95403
 707-483-4534
 CONTACT: ERIC HAUSER

ENERGY CONSULTANT:

WOLFE ENERGY
 1254 BAIRD ROAD
 SANTA ROSA CA 95409
 707-537-8031
 CONTACT: ANN WOLFE

PROJECT

**ADDITION & REMODELING
 FOR
 PAUL BUSSARD &
 LYNN DENLEY-BUSSARD
 RESIDENCE**

5232 MONTE VERDE DRIVE
 SANTA ROSA CA 95409

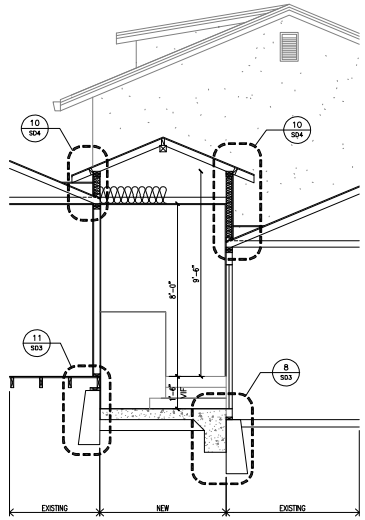
APN: 153-430-020

PROJECT NO: 0803

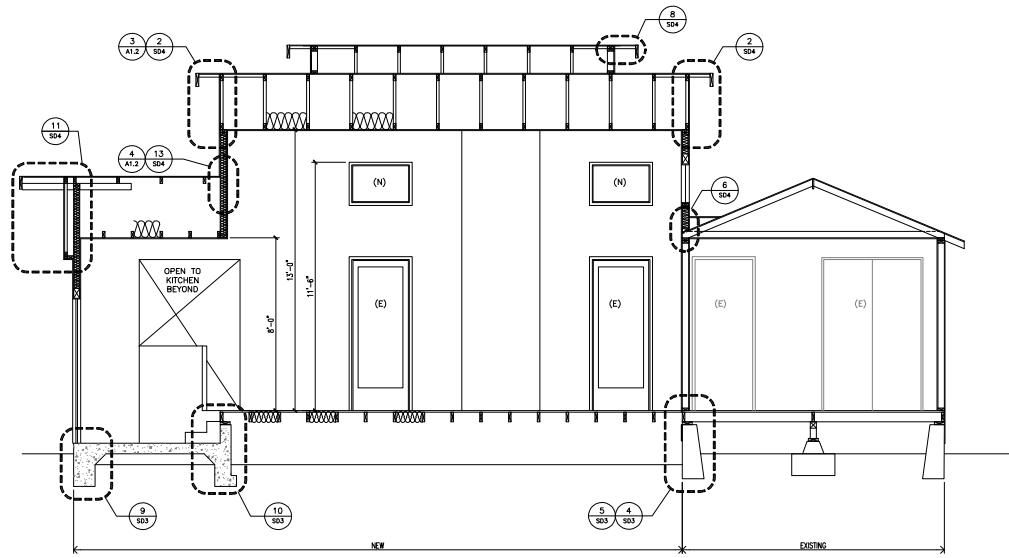
DATE: 08/18/2009

SCALE: AS SHOWN

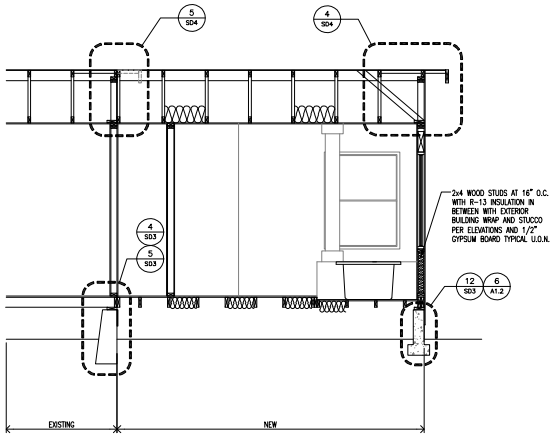
SHEET **A3.0**
 OF SHEETS



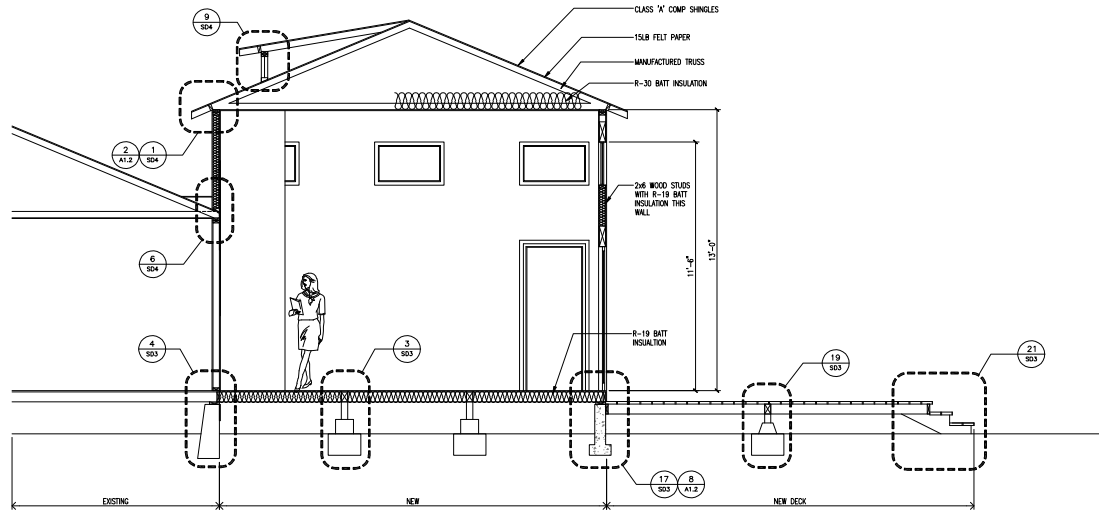
2 SECTION B
 3/8" = 1'-0"



1 SECTION A
 3/8" = 1'-0"



4 SECTION D
 3/8" = 1'-0"



3 SECTION C
 3/8" = 1'-0"

The Design & Building Works

THE DESIGN & BUILDING WORKS
3678 MONTECITO AVE
SANTA ROSA CA 95404
PHONE: (707) 526-9566
e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:
HAUSER ENGINEERING
2355 NORDYKE AVE
SANTA ROSA CA 95403
707-483-4534
CONTACT: ERIC HAUSER

ENERGY CONSULTANT:

WOLFE ENERGY
1254 BAIRD ROAD
SANTA ROSA CA 95409
707-537-8031
CONTACT: ANN WOLFE

PROJECT

**ADDITION & REMODELING
FOR
PAUL BUSSARD &
LYNN DENLEY-BUSSARD
RESIDENCE**
5232 MONTE VERDE DRIVE
SANTA ROSA CA 95409

APN: 153-430-020

PROJECT NO: 0803
DATE: 08/18/2009
SCALE: AS SHOWN

SHEET **EP1.0** OF SHEETS

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
	110V convenience duplex outlet
	110V convenience outlet with ground fault circuit interrupter
	110V convenience outlet - half hot
	110V convenience fourplex outlet
	computer outlet only
	220V outlet
	ceiling light
	wall mounted exterior light
	exterior ceiling light (to be on photo call)
	exterior wall light (to be on photo call)
	wall sconce
	ceiling extract fan
	low voltage landscape
	light fluorescent light (length as shown)
	chandelier
	downlight moisture proof
	downlight
	telephone outlet
	vacuum outlet
	TV outlet
	single pole switch
	three way switch
	Sensor switch
	smoke detector, hard wired
	house lab
	exterior downlight
	intercom
	garage door opener
	gas
	illuminated exit light w/ battery back-up
	emergency light w/ battery back-up
	speaker
	security panel
	multi lamp vanity fixture
	garage disposal
	fan with motor (2-air changes per hr)
	light & fan combination unit
	door bell
	chimes

NOTES:

- All electrical work shall be performed in compliance with the most recent code and regulations.
- The electrician shall verify all requirements with the owner prior to installation.
- All outdoor outlets to have a waterproof housing and ground fault interrupt protection.
- Provide fluorescent lighting in kitchen and baths with a minimum efficiency of 80 lumens/watt.
- Provide (2) twenty amp circuits for kitchen, related equipment, dining room, snack & pantry.
- Provide (1) twenty amp circuit for laundry room and bathrooms.
- Closest fixture locations per N.E.C. 410.6.
- Permanently installed lighting in bathrooms, living room and halls must be high efficacy, or a manual on occupant sensor, or a dimmer must control it.
- All smoke detectors shall sound an alarm audible in all sleeping areas.
- All outlets to be located 12" above floor unless otherwise indicated with a note to designate an alternate situation.
- Provide 30 amps dedicated circuit for laundry dryer kitchen cook top.
- Provide air-fault interruption protection at bedrooms.
- See sheet A1.1 electrical, mechanical and plumbing notes for additional information.
- Light fixtures in tub and shower areas shall be labeled "suitable for damp locations".

RESIDENTIAL LIGHTING NOTES FOR ENERGY CODE 2008

BATHROOMS, GARAGES, LAUNDRY ROOMS and/or UTILITY ROOMS

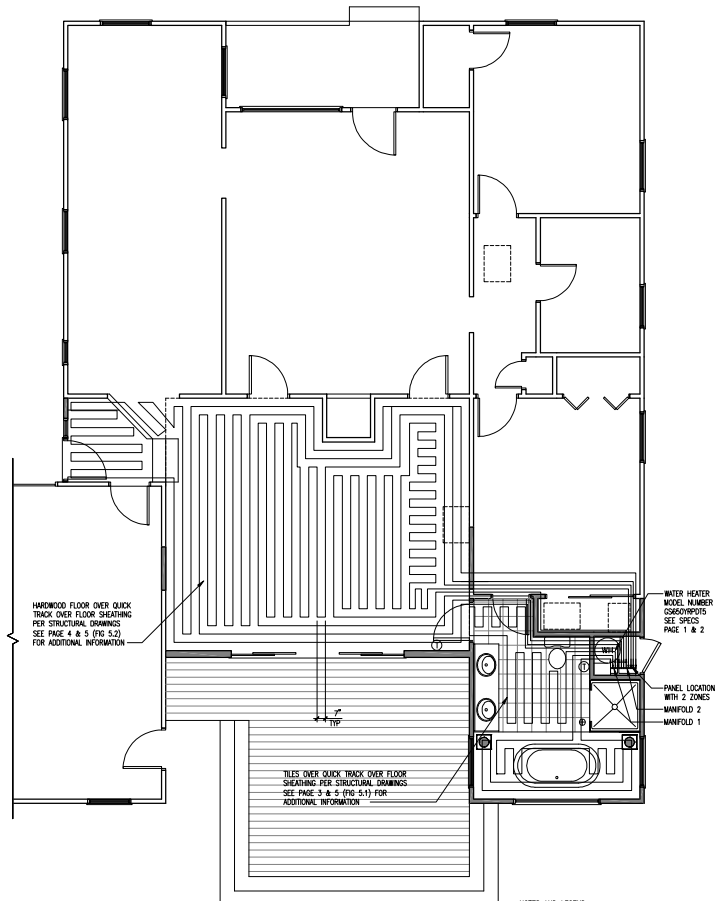
- Lighting in bathrooms, garages, laundry rooms and/or utility rooms shall be high efficacy, or must be controlled by a manual-on occupant sensor. These two features may be moved and matched on separate circuits, and must have their own switching.

OTHER ROOMS (Hallsways, dining rooms, family rooms and bedrooms)

- Permanently installed lighting in other rooms must be high efficacy, or a manual on occupant sensor, or a dimmer must control it.
- Exception: Permanently installed luminaires that are not high efficacy luminaires are allowed in closets less than 70 square feet and may be controlled by any type of switching.

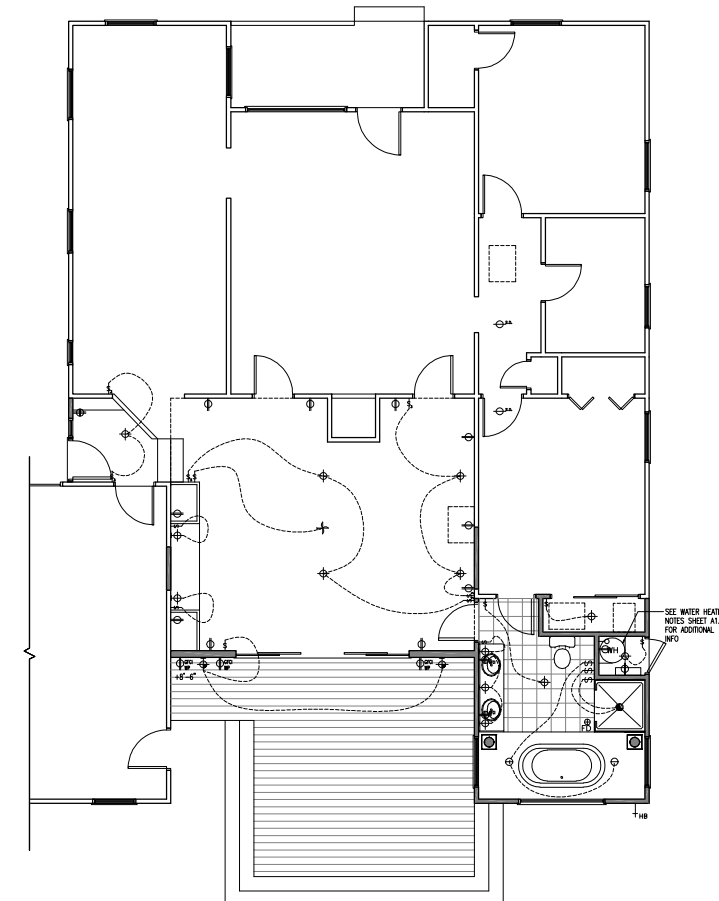
OUTDOOR LIGHTING

- Outdoor lighting attached to a building shall be high efficacy, or controlled by a motion sensor with integral photo control. Motion sensors used in conjunction with outdoor lighting luminaires should have the capability of turning the lights on automatically. Lighting around swimming pools, water features, or other locations subject to Article 680 of the California Electric Code are exempt.
- Motion sensors and photo controls shall have an indicator that visibly or audibly informs the operator that the controls are operating properly, or that they have failed or malfunctioned.



NOTES AND LEGEND:

- THERMOSTAT "LUX" MODEL 1500 OR EQUIVALENT
- PAGES ARE REFERRING TO "TRAVANT/HYDRONIC HEATING SYSTEM SPECIFICATIONS" PACKAGE ENCLOSED WITH DRAWINGS.



1 ELECTRICAL FLOOR PLAN
1/4" = 1'-0"

4 RADIANT HEAT LAYOUT
1/4" = 1'-0"

The Design & Building Works

THE DESIGN & BUILDING WORKS
3678 MONTECITO AVE.
SANTA ROSA CA 95404
PHONE: (707) 526-9566
e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:
HAUSER ENGINEERING
2355 NORDVYKE AVE
SANTA ROSA CA 95403
707-483-4534
CONTACT: ERIC HAUSER

ENERGY CONSULTANT:
WOLFE ENERGY
1254 BAIRD ROAD
SANTA ROSA CA 95409
707-537-8031
CONTACT: ANN WOLFE

PROJECT

ADDITION & REMODELING FOR
PAUL BUSSARD & LYNN DENLEY-BUSSARD RESIDENCE
5232 MONTE VERDE DRIVE
SANTA ROSA CA 95409

APN:153-439-030

PROJECT NO: 0803
DATE: 08/16/2009
SCALE: AS SHOWN

SHEET **S1.0** OF SHEETS

FOUNDATION NOTES

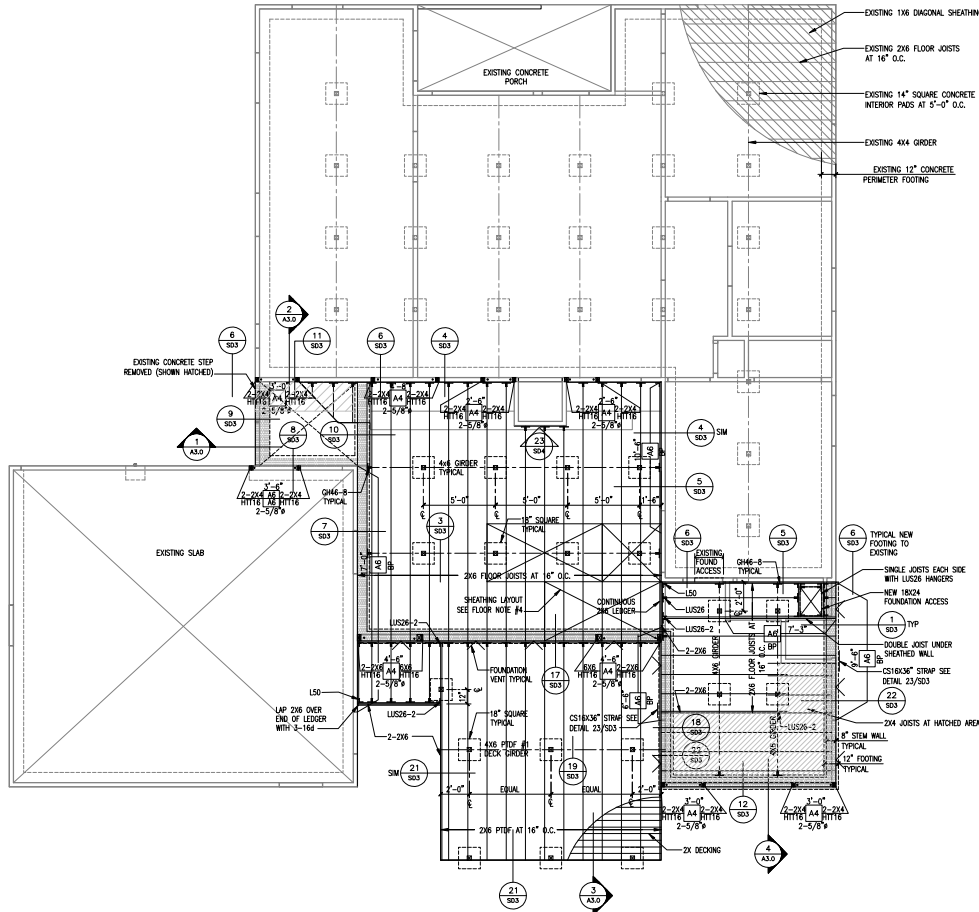
- See structural detail (SD) sheets for standard construction details and general structural notes.
- Foundation system shall be reinforced concrete conventional spread footings per 15SD3 U.O.N.
- Slab-on-grade (garage, porches, etc.) shall be 4" minimum thick concrete reinforced with #3 at 18" o.c. each way 1" clear from top of slab, over 6" crushed rock U.O.N.
 - Provide 1/8" wide by 1" deep control joints in slabs at 12'-0" o.c. maximum spacing in each direction, U.O.N.
 - Where slab is used for interior living space provide moisture barrier below slab. Place slab over 2" sand, over 6 mil vapor barrier, over 4" crushed rock.
- Holddowns, if occur, shall be installed per detail 23SD2 at new concrete and 13SD3 at existing concrete.
- Foundation design is based on a maximum cripple wall height of 4'-0" below the two-story portion of the structure. Contact engineer prior to construction if cripple wall height exceeds 4".
- Drainage:
 - The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than 1V:20H (5%) for a minimum distance of 10 feet. If 10' is not available then slope 5% to an approved alternate method of diverting water away from foundations. Swales use for this purpose shall slope 2% (Ref. CBC section 1803.3).
 - Roof gutters should be provided with gutters and downspouts. Downspouts should be discharged as follows:
 - to splash blocks that discharge the runoff at least 10 feet away from building foundation.
 - connected to an approved non-perforated drainage that discharges into planned or existing drainage facility.
- Additions and Remodels: Where new work is constructed over existing foundation the existing foundation and mud sill anchorage shall be verified. Any discrepancies shall be brought to the attention of the engineer.
 - Existing foundation shall be competent reinforced concrete with no signs of unusual cracking or settlement. Existing foundation shall meet the minimum criteria for size, width and penetration into grade as set forth in chapter 18 of the C.B.C. and as detailed in 4SD3. Foundations not meeting the minimum criteria shall be reviewed by the engineer for retrofit, or shall be removed and replaced with new.
 - Existing mud sill anchorage shall be verified for adequate size, spacing and washer requirements as indicated in the details of these plans. Where plans indicate structural sheathed walls above new anchor bolts or retrofit plates shall be installed to meet the requirements of new construction, see plan for location and spacing.
 - Retrofit anchor bolts shall be installed per 16SD3.
 - Retrofit plates shall be installed per 15SD3.
 - Existing 1/2" diameter anchor bolts may be acceptable for general anchorage provided the bolts are competent, not dipped into the mud sill and the existing round washers are replaced with new square plate washers where possible.

LOWER FLOOR FRAMING NOTES

- See structural detail (SD) sheets for standard construction details and general structural notes.
- See Wall Framing Note for wall framing information.
- Floor framing shall be as noted on the plans:
 - Provide double joists under interior structural sheathed walls and all main parallel partitions (partitions length greater than 50% of the span) U.O.N.
 - Provide solid blocking under interior structural sheathed walls when joists are perpendicular to walls.
 - Interior girders shall be as noted. Splice just only at girders.
- Floor sheathing shall be APA rated sheathing, 4824, Exposure 1, tongue and groove, 23/32" minimum thickness:
 - Install sheets with face grain perpendicular to supports. Stagger sheets.
 - Glue and nail all sheets. Edge nail @ 6" o.c., field nail @ 12" o.c. U.O.N.
 - Nail collectors with 8d at 6" o.c. minimum, see plan for location.
 - Minimum sheet size shall be 24"x24". Block and nail panel edges that are not interconnected by the TAG.
- Foundation vents shall not be located at sheathed walls other than A6 or T6, or directly under posts or jambs of openings greater than 4'-0" in width.

WALL FRAMING NOTES

- See structural detail (SD) sheets for standard construction details and general structural notes.
- All exterior walls shall be framed with 2x4 DF#2 studs at 16" o.c. U.O.N. Exterior studs over 10'-0" shall be 2x6 DF#2 at 16" o.c.
- See detail 15SD2 AND 23SD2 for framing of headers and required number of king studs at openings. See detail 4SD2 typical top plate splices.
- Structural sheathed walls are designated with See "Typical Structural Sheathed Wall Schedule", detail 10SD2 for general and specific requirement.
- Sheath all exterior walls per unless otherwise noted. All exterior wall panels 4'-0" and greater in length shall be considered as complying with the broadest wall panels per section 2320.11.3 of the CBC.
- Sheath all specified interior walls as noted on plans see "Typical Shear Wall Schedule" on sheet SD2.
- Interior bearing walls, if occur are shown shaded.



1 FOUNDATION & FLOOR FRAMING PLAN
1/4" = 1'-0"

ROOF FRAMING NOTES

- See structural detail (SD) sheets for standard construction details and general structural notes.
- See Wall Framing Notes for wall framing information.
- Roof framing shall be manufactured trusses at 24" o.c. U.O.N.
 - See manufactured truss information sheet SD1.
 - See detail 19/S02 for web bracing.
- Floor sheathing shall be APA rated sheathing, 3016, exposure 1, 15/32" minimum thickness
 - Install sheets with face grain perpendicular to supports. Stagger sheets.
 - Nail sheet edges with 8d at 6" o.c.; nail field with 8d at 12" o.c. U.O.N.
 - Nail collectors with 8d at 8" o.c. over the entire length. See plan for location.
 - Minimum unblocked sheet size shall be 24"x24". For smaller sheets block and nail all edges.
- Building has been designed for roofing with a maximum weight of 5.0 psf.

The Design & Building Works

THE DESIGN & BUILDING WORKS
 3678 MONTECITO AVE.
 SANTA ROSA CA 95404
 PHONE: (707) 526-9566
 e-mail: e-picard@comcast.net

CONTACT: ELLEN PICARD

revisions

CONSULTANTS:

STRUCTURAL ENGINEER:
 HAUSER ENGINEERING
 2355 NORDVYKE AVE.
 SANTA ROSA CA 95403
 707-483-4534
 CONTACT: ERIC HAUSER

ENERGY CONSULTANT:
 WOLFE ENERGY
 1254 BAIRD ROAD
 SANTA ROSA CA 95409
 707-537-8031
 CONTACT: ANN WOLFE

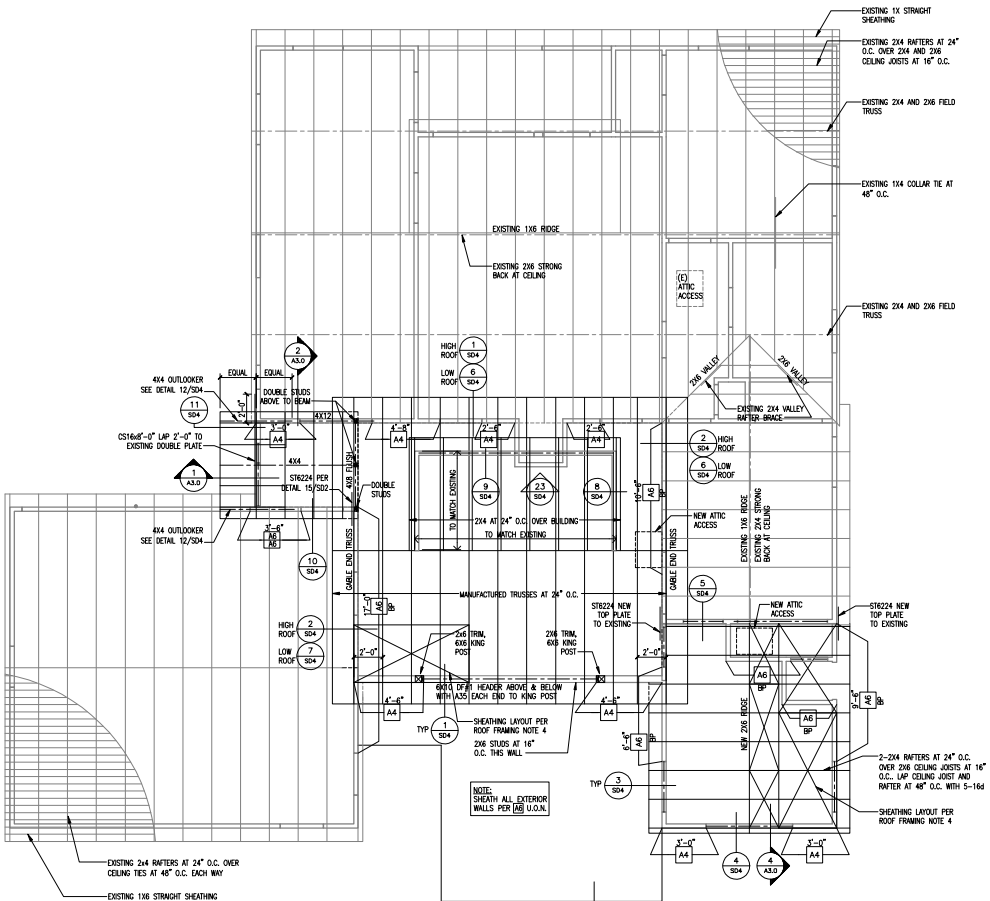
PROJECT

ADDITION & REMODELING FOR PAUL BUSSARD & LYNN DENLEY-BUSSARD RESIDENCE
 5232 MONTE VERDE DRIVE
 SANTA ROSA CA 95409

APN: 153-430-030

PROJECT NO: 0803
 DATE: 08/18/2009
 SCALE: AS SHOWN

SHEET **S1.1** OF SHEETS



1 ROOF FRAMING PLAN
 1/4" = 1'-0"