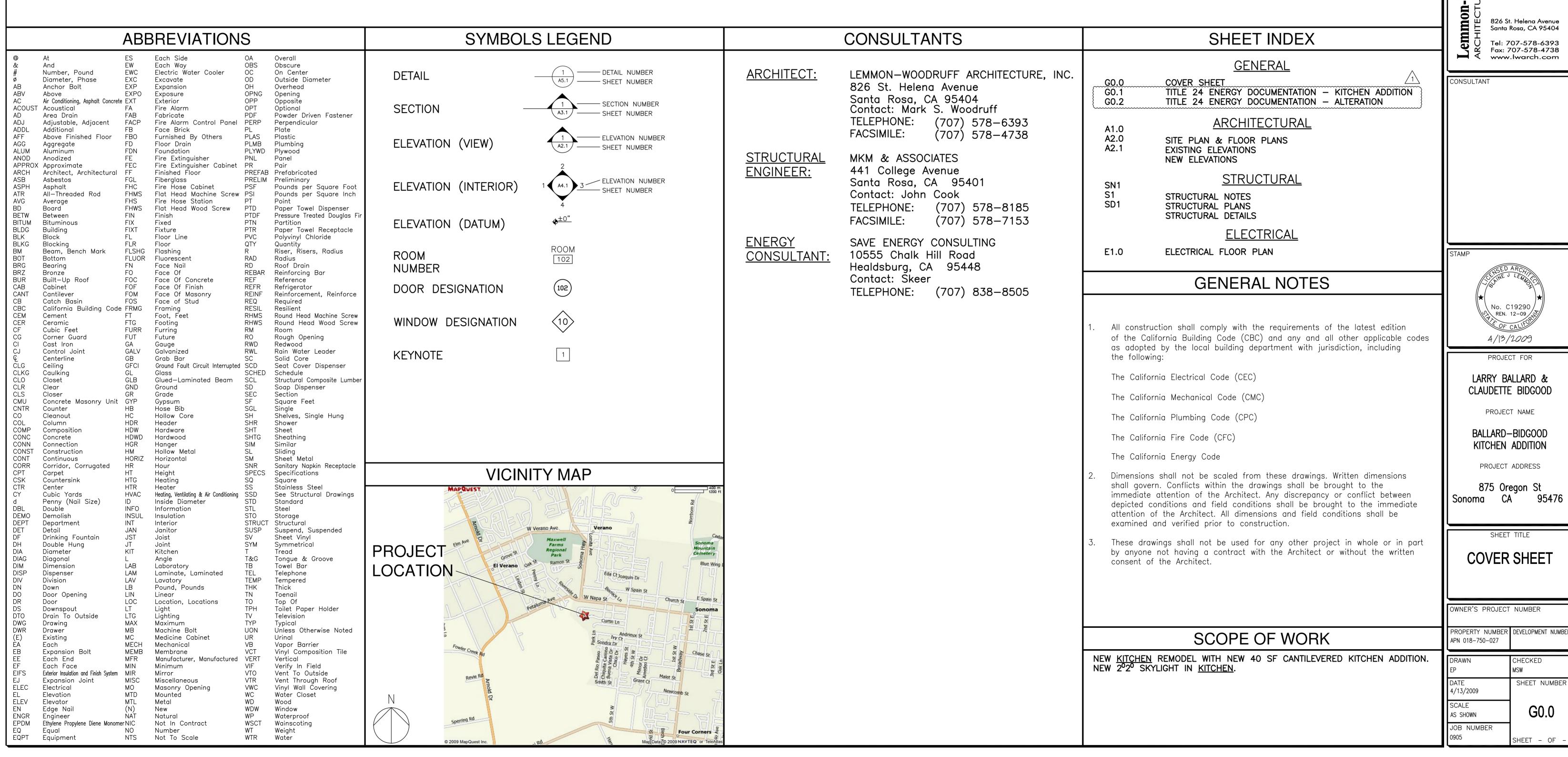
BALLARD-BIDGOOD KITCHEN ADDITION

875 Oregon Street Sonoma, CA 95476



DESCRIPTION PLAN CHECK CORRECTIONS

EP	MSW
DATE 4/13/2009	SHEET NUMBER
SCALE AS SHOWN	G0.0
JOB NUMBER 0905	SHEET - OF -



Title 24 Energy Compliance Documentation

Job No: **2009-048**

Ballard/Bidgood Residence Addition

875 Oregon St., Sonoma, CA

Lemmon-Woodruff Architecture, Inc.

Specific Requirements: (must also conform to all applicable Mandatory Measures on Form MF-1)

4/13/2009

published by the manufacturer.

follows: operable = 0.32.

operable = 0.39.

Note: Maximum allowed glazing U-values are as follows:

RESIDENTIAL KITCHEN LIGHTING WORKSHEET

roject Title..... Ballard Residence

Efficacy

Luminaire Type (Yes/No) Watts Quantity

Maximum allowed Solar Heat Gain Coefficients (SHGC's) are as

location:

designer:

Method of Compliance: Prescriptive package for additions of 100 ft.² or less (Climate Zone 2) showing that this project is in compliance with the 2005 edition of the California Residential Energy Standards when built as documented in this submittal.

Summary: The prescriptive package in this climate zone has R-13 walls, R-30 roof/ceiling, R-19 floor and allows 50 sq.ft. of glass. This report shows compliance on the CF-1R form. Per Table 8-2 of the Residential Energy Manual, the glass area being 21 sq.ft. The specific compliance package requirements are shown in the tables below.

	ADDITION	
	INSULATION: R-30 insulation at roof/ceiling; R13 insulation at walls; R19 insulation at floor.	HEATING: Use existing HVAC
ı		AC: NA
ı	GLAZING: All glass is double pane, vinyl frame, NFRC tested	
ı	assemblies with low solar gain low-E glass.	DUCTS: Minimum R-6.0 insulation at any new ducting
ı		New ducting extended less than 40 ft, so tested tight du
ı	Note: Glass U-values and solar heat gain coefficients (SHGC's)	is not the standard.
ı	are per the default values given in Tables G-4 & G-8 of the	
I	Residential Energy Manual or per the NFRC tested values	WATER HEATING: Existing (no requirements)

t least 50% of the total rated wattage of permanently installed luminaires in

the kitchen must be in luminaires that are high efficacy luminaires as defined in Table 150-C. Luminaires that are not high efficacy must be switched

KITCHEN LIGHTING SCHEDULE

HOUSEWRAP: NR

RADIANT BARRIER: A radiant barrier shall be installed

WS-5R Page 4

Date..04/13/09

at all roof areas. The radiant barrier must be installed to cover all gable end walls and other vertical surfaces in the

attic and attic ventilation criteria must be met.

Efficacy

Watts

Complies if A >= B Yes __X__ No ____

207 B= 180

CERTIFICATE OF COMPLIANC	CE: RESIDENTIAL COMPUTER METHOD	CF-1R	Page 1
Project Title Project Address		Date0	4/13/09
3	Sonoma, CA		
Documentation Author	Skeer Save Energy Consulting	Building Per	mit #
	10555 Chalk Hill Rd. Healdsburg, CA 95448	Plan Check /	Date
	707-838-8505	Field Check/	Date
Climate Zone Compliance Method	Prescriptive Pkg. For Additions 100	sq.ft or les	s.
		=======================================	======

*50 sq.ft. allowed.

MANDATORY MEASURES CHECKLIST: RESIDENTIAL

	e Ballard Residence Addtn Date04/13/09 ess 875 Oregon St			
Climate Zone Compliance M	Sonoma, CA n Author Skeer Save Energy Consulting 10555 Chalk Hill Rd. Healdsburg, CA 95448 707-838-8505 Field Check/ Date ethod Prescriptive Pkg. For Additions 100 sq.ft or less.			
	GENERAL INFORMATION			
	HERS Verification Not Required Conditioned Floor Area 40 sf Building Type Single Family Detached Construction Type New Building Front Orientation. Front Facing (SE) Number of Dwelling Units 0.015 Number of Building Stories. 1			
Floor Construction Type Raised Floor Number of Building Zones 1 Slab-On-Grade Area 0 sf Glazing Area 21.0 sf				
	OPAQUE SURFACES			
Surface	U- Sheath- Solar Appendix Frame Area fact- Cavity ing Gains IV Location/ Type (sf) or R-val R-val Azm Tilt Reference Comments			
Wall Roof Floor	Wood n/a 0.102 13 0 n/a 90 Yes None Typical.exter. Wood n/a 0.032 30 0 n/a 0 Yes None Attic Wood n/a 0.037 19 0 n/a 0 No None To Crawlspace			
	FENESTRATION SURFACES			
Orientation	Exterior Area U- Shade (sf) factor SHGC Azm Tilt Type Location/Comments			
Wind Back	(NW) 21.0 0.390 0.320 315 90 Standard Vinyl.Oper.LowE Total= 21.0*			

CERTIFICATE OF C	OMPLIANCE: RESI	DENTIAL	COMPUTER METH	DD	CF-1R	Page 2		
Project Title	roject Title Ballard Residence Addtn Date04/13/0							
		HVAC	SYSTEMS					
System o	wber of Minimum tems Efficiency		Refrig Charge	Adequate	Verified Fan Watt Draw	Cooling		
Exist.HVAC 1	n/a	n/a	n/a	n/a	n/a	n/a		

VC.	1	n/a	n/a	n/a	n/a	n/a	n/a
			DUCT SY	STEMS*			
	System Type	Duct Location		Verified Duct ue Leakage		Verified Buried Ducts	

No

*DUCTS: New ducting, if any, is extended less than 40 ft, so tested tight ducts is not the standard and not required in this packege.

Crawlspace R-6 No

Crawlspace R-6 No

WATER HEATING SYSTEMS

Tank Type	Heater Type	Distribution Type	in		Size	External Insulation R-value
Existing	Gas	Standard	1	NA	NA	NA
REMARKS						

-Existing space heating system will supply the addition.

reductions in the cross-sectional area of the ducts

NoCooling

-RADIANT BARRIER: A radiant barrier shall be installed at all roof areas. The radiant barrier must be installed to cover all gable end walls and other vertical surfaces in the attic and attic ventilation criteria must be met.

CERTIFICATE OF COMPLIANCE: RESIDENTIA	L COMPUTER METHOD	CF-1R	Page 3	MA	RK DATE	DESCRIPTION
Project Title Ballard Resid	lence Addtn	Date	04/13/09	1	4/21/09	PLAN CHECK CORRECTIONS
COMPLIA	NCE STATEMENT					
This certificate of compliance list specifications needed to comply California Code of Regulations, a implement them. This certificate hoverall design responsibility.	with Title-24, Parts : and the administrative	l and 6 of e regulation	the s to			
DESIGNER or OWNER	DOCUMENTATIO	ON AUTHOR		Ш		
Name Company. Lemmon/Woodruff Architct. Address.	Name Skeer Company. Save Energy Address. 10555 Chalk	Consulting Hill Road				

Healdsburg, CA 95448

Phone... 707-838-8505

R 05-90-652 SKEER NR 05-90-731 Keer

Architecture,

MF-1R.3

De- En-

sign- force

MF-1R.4

826 St. Helena Avenue Santa Rosa, CA 95404

Tel: 707-578-6393 Fax: 707-578-4738 www.lwarch.com

ONSULTANT

No. C19290 / REN. 12-09

4/13/2009 PROJECT FOR LARRY BALLARD & CLAUDETTE **BIDGOOD**

PROJECT NAME BALLARD-BIDGOOD KITCHEN

> **ADDITION** PROJECT ADDRESS

875 Oregon St Sonoma

95476

DOCUMENTATION KITCHEN ADDITION

WNER'S PROJECT NUMBER PROPERTY NUMBER DEVELOPMENT NUMBER APN 018-750-027

DRAWN EP	CHECKED MSW
DATE 4/13/2009	SHEET NUMBER
SCALE AS SHOWN	G0.1
JOB NUMBER 0905	SHEET - OF -

measures regardless of the compliance approach used. More stringent compliance requirements from the Certificate of Compliance supersede the items marked with an asterisk (*). When this checklist is incorporated into the permit documents, the features noted shall be considered by all parties as minimum component performance specifications for the mandatory measures whether they are shown elsewhere in the documents or on this checklist only. BUILDING ENVELOPE MEASURES sign- force-*150(a): Minimum R-19 insulation in wood framed ceiling or equivalent U-factor in metal frame ceiling 150(b): Loose fill insulation manufacturer's labeled R-Value *150(c): Minimum R-13 wall insulation in wood framed walls or equivalent U-factor in metal frame walls (does not apply to exterior mass walls) *150(d): Minimum R-13 raised floor insulation in framed floors or equivalent U-factor 150(e): Installation of Fireplaces, Decorative Gas Appliances 1. Masonry and factory-built fireplaces have: a. Closeable metal or glass door covering the entire opening of the firebox b. Outside air intake with damper and control, flue damper and control 2. No continuous burning gas pilot lights allowed 150(f): Air retarding wrap installed to comply with Sec. 151 meets requirements specified in ACM Residential Manual 150(g): Vapor barriers mandatory in Climate Zones 14,16 only
150(l): Slab edge insulation - water absorption rate for the insulation material without facings no greater than 0.3%, standards. Indicate type and include CF-6R form 116-17: Fenestration Products, Exterior Doors and Infiltration/ Exfiltration Controls 1. Doors and windows between conditioned and unconditioned spaces designed to limit air leakage 2. Fenestration products (except field-fabricated) have label with certified U-factor, certified Solar Heat Gain

3. Exterior doors and windows weatherstripped; all joints

Coefficient (SHGC), and infiltration certification

and penetrations caulked and sealed

Note: Lowrise residential buildings subject to the Standards must contain these

MF-1R.1

MANDATORY MEASURES CHECKLIST: RESIDENTIAL MANDATORY MEASURES CHECKLIST: RESIDENTIAL MF-1R.2 3. Joints and seams of duct systems and their components SPACE CONDITIONING, WATER HEATING AND PLUMBING SYSTEM MEASURES shall not be sealed with cloth backed rubber adhesive De- Enduct tapes unless such tape is used in combination with sign- force mastic and draw bands 4. Exhaust fan systems have back draft or automatic dampers_ 110-113: HVAC equipment, water heaters, showerheads and faucets certified by the Energy Commission 5. Gravity ventilating systems serving conditioned space have 150(h): Heating and/or cooling loads calculated in accordance either automatic or readily accessible, manually with ASHRAE, SMACNA or ACCA operated dampers 150(i): Setback thermostat on all applicable heating and/or 6. Protection of Insulation. Insulation shall be protected from damage due to sunlight, moisture, equipment mainten-ance and wind. Cellular foam insulation shall be protected cooling systems 150(j): Water system pipe and tank insulation and cooling as above or painted with a coating that is water retardant systems line insulation and provides shielding from solar radiation that can cause . Storage gas water heaters rated with an Energy Factor less than 0.58 must be externally wrapped with insulation degradation of the material having an installed thermal resistance of R12 or greater_____ 7. Flexible ducts cannot have porous inner cores Back-up tanks for solar system unfired storage tanks of 114: Pool and Spa Heating Systems and Equipment other indirect hot water tanks have R-12 external 1. A thermal efficiency that complies with the Appliance insulation or R-16 internal and indicated on the Efficiency Regulations, on-off switch mounted outside of the heater, weatherproof operating instructions, no exterior of the tank showing the R-value 3. The following piping is insulated according to Table $150-\overline{A/B}$ electric resistance heating and no pilot light or Equation 150-A Insulation Thickness: 2. System is installed with: a. At least 36 inches of pipe between filter and heater 1. First 5 feet of hot and cold water pipes closest to for future solar heating water heater tank, non-recirculating systems, and entire length of recirculating sections of hot water pipes shall be insulated to Table 150B b. Cover for outdoor pools or outdoor spas. 3. Pool system has directional inlets and a circulation pump time switch 2. Cooling system piping (suction, chilled water, or brine lines), piping insulated between heating source and indirect hot water tank shall be insulated to 115: Gas-fired central furnaces, pool heaters, spa heaters or household cooking appliances have no continuously burning pilot light (Exception: Non-electrical cooking appliances with pilot < 150 Btu/hr) Table 150-B and Equation 150-A 4. Steam hydronic heating systems or hot water systems >15 psi, 118(i): Cool Roof material meets specified criteria meet requirements of Table 123-A ____ 5. Insulation must be protected from damage, including that due RESIDENTIAL LIGHTING MEASURES to sunlight, moisture, equipment maintenance and wind 6. Insulation for chilled water piping and refrigerant suction n/a er ment piping includes a vapor retardant or is enclosed entirely 150(k)1: HIGH EFFICACY LUMINAIRES OTHER THAN OUTDOOR HID: in conditioned space contain only high efficacy lamps as outlined in Table 7. Solar water-heating systems/collectors are certified by the 150-C, and do not contain a medium screw base socket Solar Rating and Certification Corporation (E24/E26). Ballast for lamps 13 watts or greater are electronic *150(m): Ducts and Fans and have an output frequency no less than 20 kHz 1. All ducts and plenums installed, sealed and insulated to 150 (k) 1: HIGH EFFICACY LUMINAIRES - OUTDOOR HID: contain meet the requirements of the CMC Sections 601, 602, 603, only high efficacy lamps as outlined in Table 150-C, 604, 605 and Standard 6-5; supply-air and return-air ducts luminaire has factory installed HID ballast and plenums are insulated to a minimum installed level of 150(k)2: Permanently installed luminaires in kitchens shall be high efficacy luminaires. Up to 50 percent of the wattage, R-4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape, or other duct-closure as determined in Sec. 130(c), of permanently installed luminaires system that meets the applicable requirements of UL 181, in kitchens may be in luminaires that are not high efficacy UL 181A, or UL 181B or aerosol sealant that meets the luminaires, provided that these luminaires are controlled requirements of UL 723. If mastic or tape is used to seal by switches separate from those controlling the high openings greater than 1/4 inch, the combination of mastic efficacy luminaires and either mesh or tape shall be used 150(k)3: Permanently installed luminaires in bathrooms, 2. Building cavities, support platforms for air handlers, and garages, laundry rooms, utility rooms shall be high plenums defined or constructed with materials other than efficacy luminaires OR are controlled by an occupant sealed sheet metal, duct board or flexible duct shall not sensor(s) certified to comply with Section 119(d) that be used for conveying conditioned air. Building cavities and does not turn on automatically or have an always on option ____ ___ support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause

License.

ENFORCEMENT AGENCY

MANDATORY MEASURES CHECKLIST: RESIDENTIAL

or have an always on option

with Section 119(d)

comply with Section 119(d)

150(k)4: Permanently installed luminaires located other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires (except closets less than 70 ft2), OR are controlled by a dimmer switch

OR are controlled by an occupant sensor(s) that complies with Section 119(d) that does not turn on automatically

are approved for zero clearance insulation cover (IC) and are certified air tight to ASTM E283 and labeled as air

150(k)6: Luminaires providing outdoor lighting and permanently mounted to a residential building or to other buildings on

the same lot shall be high efficacy luminaires (not including lighting around swimming pools/water features or

have lighting that complies with Sec. 130, 132, and 147. Lighting for parking garages for 8 or more vehicles shall have lighting that complies with Sec. 130, 131, and 146 150(k)8: Permanently installed lighting in the enclosed, nondwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires OR are controlled by an occupant sensor(s) certified to

other Article 680 locations) OR are controlled by occupant sensors with integral photo control certified to comply

tight (AT) to less than 2.0 CFM at 75 Pascals

150(k)5: Luminaires that are recessed into insulated ceilings

150(k)7: Lighting for parking lots for 8 or more vehicles shall



Title 24 Energy Compliance Documentation Job No: **2009-048**

Ballard/Bidgood Residence Alteration

location: designer: Lemmon-Woodruff Architecture, Inc.

4/13/2009

Method of Compliance: Prescriptive approach for alterations (Climate Zone 2) showing that this project is in compliance with the 2005 edition of the California Residential Energy Standards when built as documented in this submittal.

Summary: The prescriptive approach in this climate zone has R-13 walls, R-30 roof/ceiling, R-19 floor and allows 50 sq.ft. of additional standard glazing to be added to the existing house. This report shows compliance on the CF-1R form, with the newly added glass area being 21 sq.ft. There are no other changes, except for kitchen lighting, which is addressed in the addition's compliance package. The specific compliance package requirements are shown in the tables below.

Specific Requirements: (must also conform to all applicable Mandatory Measures on Form MF-1)

ADDITION INSULATION: Existing, no change.

GLAZING: All glass is double pane, vinyl and wood frame, NFRC tested assemblies with low solar gain low-E glass.

Note: Glass U-values and solar heat gain coefficients (SHGC's) are per the default values given in Tables G-4 & G-8 of the Residential Energy Manual or per the NFRC tested values published by the manufacturer.

Note: Maximum allowed glazing U-values are as follows: operable = 0.39; skylight = 0.49. Maximum allowed Solar Heat Gain Coefficients (SHGC's) are as follows: operable = 0.32; skylight = 0.30.

HEATING/AC/DUCTING: Existing no chang.

WATER HEATING: Existing no change

HOUSEWRAP: NA

RADIANT BARRIER: NA

Floor Construction Type.... Raised Floor Number of Building Zones... 1 Slab-On-Grade Area.... 0 sf

Newly Added Glazing Area... 11.0 sf

Existing no change.

FENESTRATION SURFACES -----

OPAQUE SURFACES

Added Exterior Area U-Shade Orientation (sf) factor SHGC Azm Tilt Type Location/Comments 1.0 0.390 0.320 315 90 Standard Vinyl.Oper.LowE 10.0 0.390 0.320 315 90 Standard Vinyl.Oper.LowE 4.0 0.490 0.300 315 90 Standard Wood.Oper.LowE Wind Front Door Left Skylt Front 6.0 0.490 0.300 315 90 Standard Wood.Oper.LowE Skylt Back

*50 sq.ft. allowed.

RTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHOD	CF-1R Page 1	CERTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHO	DD C
oject Title Ballard Residence Alteration oject Address 875 Oregon St.	Date04/21/09	Project Title Ballard Residence Alteration	
Sonoma, CA cumentation Author Skeer Save Energy Consulting	Building Permit #	HVAC SYSTEMS	
10555 Chalk Hill Rd. Healdsburg, CA 95448 707-838-8505	Plan Check / Date 	Existing no change.	
limate Zone		DUCT SYSTEMS	
GENERAL INFORMATION		Existing no change.	
HERS Verification Not Required		WATER HEATING SYSTEMS	
Conditioned Floor Area 1983 Building Type Single Family I Construction Type New Building Front Orientation. Front Facing (S		Existing no change. REMARKS	
Number of Dwelling Units 1.0 Number of Building Stories. 1		NA	
_,	I		

CERTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHOD	CF-1R Page 2
Project Title Ballard Residence Alteration	Date04/21/09
HVAC SYSTEMS	
Existing no change.	Verified
DUCT SYSTEMS	
Existing no change.	
WATER HEATING SYSTEMS	
Existing no change.	
REMARKS	
NA	

CERTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHOD	CF-1R	Page 3
Project Title Ballard Residence Alteration	Date	04/21/09
COMPLIANCE STATEMENT		
This certificate of compliance lists the building features specifications needed to comply with Title-24, Parts 1 California Code of Regulations, and the administrative implement them. This certificate has been signed by the	and 6 of regulation	the s to

formance of the al with overall design responsibility.

> DESIGNER or OWNER DOCUMENTATION AUTHOR

Name.... Skeer Company. Lemmon/Woodruff Architct. Company. Save Energy Consulting Address. Address. 10555 Chalk Hill Road Healdsburg, CA 95448 Phone... 707-578-6393 Phone... 707-838-8505

ENFORCEMENT AGENCY

MANDATORY MEASURES CHECKLIST: RESIDENTIAL

R 05-90-652 SKEER NR 05-90-731 Keer

DESCRIPTION PLAN CHECK CORRECTIONS

Lemmon-Woodruff Architecture, ARCHITECTURE, PLANNING AND DEVELOPA

826 St. Helena Avenue Santa Rosa, CA 95404

> Tel: 707-578-6393 Fax: 707-578-4738 www.lwarch.com

CONSULTANT

MF-1R.1

Note: Lowrise residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. More stringent compliance requirements from the Certificate of Compliance supersede the items marked with an asterisk (*). When this checklist is incorporated into the permit documents, the features noted shall be considered by all parties as minimum component performance specifications for the mandatory measures whether they are shown elsewhere in the documents or on this checklist only.

BUILDING ENVELOPE MEASURES sign- force-

n/a er ment 116-17: Fenestration Products, Exterior Doors and Infiltration/ Exfiltration Controls 1. Doors and windows between conditioned and unconditioned spaces designed to limit air leakage 2. Fenestration products (except field-fabricated) have label with certified U-factor, certified Solar Heat Gain

Coefficient (SHGC), and infiltration certification 3. Exterior doors and windows weatherstripped; all joints

RESIDENTIAL LIGHTING MEASURES

and penetrations caulked and sealed

De- Ensign- force n/a er ment 150(k)1: HIGH EFFICACY LUMINAIRES OTHER THAN OUTDOOR HID:

contain only high efficacy lamps as outlined in Table 150-C, and do not contain a medium screw base socket (E24/E26). Ballast for lamps 13 watts or greater are electronic and have an output frequency no less than 20 kHz 150(k)1: HIGH EFFICACY LUMINAIRES - OUTDOOR HID: contain only high efficacy lamps as outlined in Table 150-C, luminaire has factory installed HID ballast

150(k)2: Permanently installed luminaires in kitchens shall be high efficacy luminaires. Up to 50 percent of the wattage, as determined in Sec. 130(c), of permanently installed luminaires in kitchens may be in luminaires that are not high efficacy luminaires, provided that these luminaires are controlled

by switches separate from those controlling the high efficacy luminaires 150(k)3: Permanently installed luminaires in bathrooms, garages, laundry rooms, utility rooms shall be high efficacy luminaires OR are controlled by an occupant

sensor(s) certified to comply with Section 119(d) that does not turn on automatically or have an always on option 150 (k) 4: Permanently installed luminaires located other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires (except closets less than 70 ft2), OR are controlled by a dimmer switch OR are controlled by an occupant sensor(s) that complies with Section 119(d) that does not turn on automatically

or have an always on option 150(k)5: Luminaires that are recessed into insulated ceilings are approved for zero clearance insulation cover (IC) and are certified air tight to ASTM E283 and labeled as air tight (AT) to less than 2.0 CFM at 75 Pascals

No. C19290 / REN. 12-09 4/13/2009

PROJECT FOR LARRY BALLARD & CLAUDETTE **BIDGOOD**

PROJECT NAME

BALLARD-BIDGOOD KITCHEN **ADDITION**

PROJECT ADDRESS

875 Oregon St Sonoma

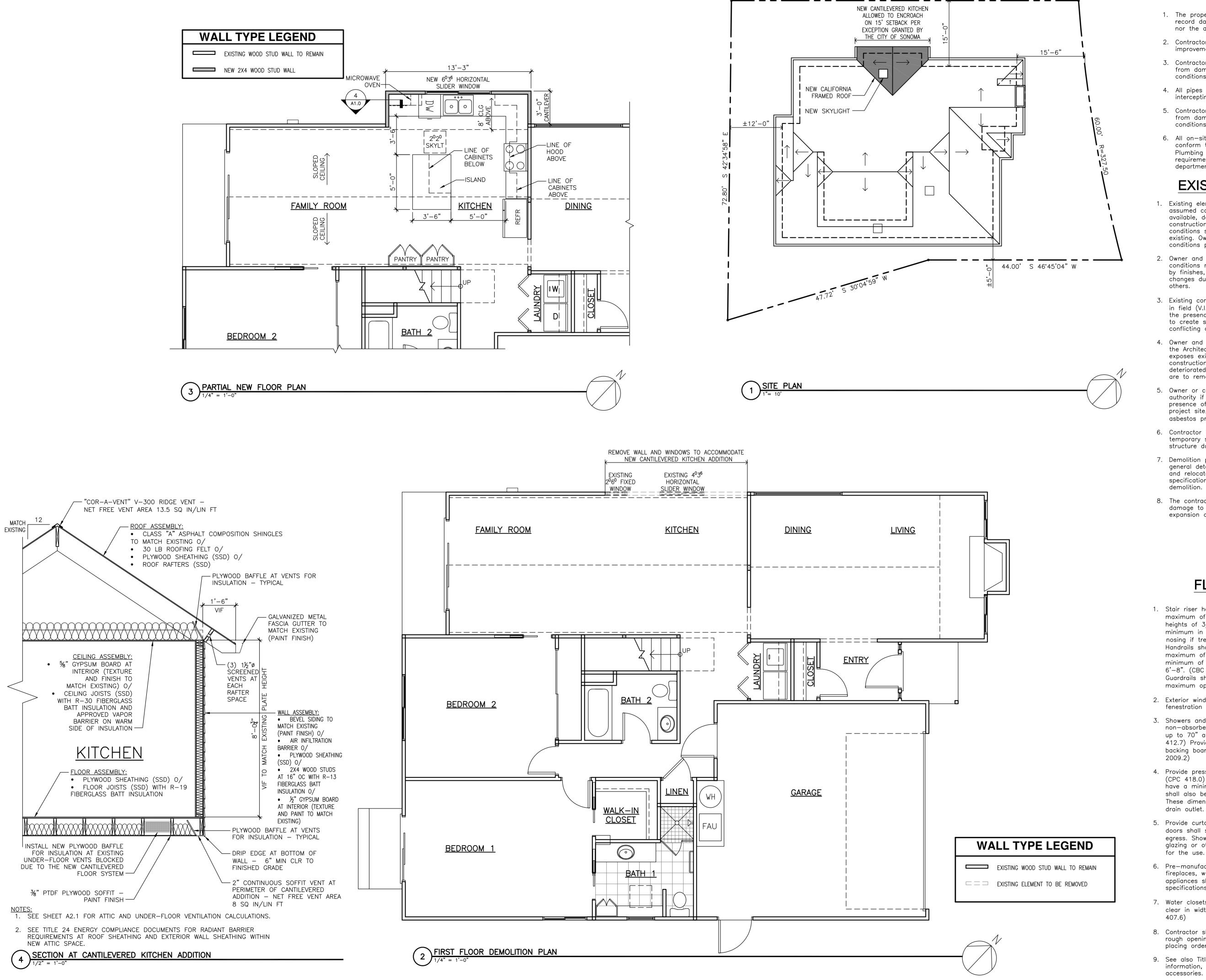
95476

SHEET TITLE TITLE 24 DOCUMENTATION -**ALTERATION**

OWNER'S PROJECT NUMBER PROPERTY NUMBER DEVELOPMENT NUMBER

APN 018-750-027

CHECKED SHEET NUMBER 4/13/2009 SCALE NS SHOWN JOB NUMBER SHEET - OF -



SITE PLAN NOTES

79.08' N 46'45'04" E

- 1. The property lines shown herein are compiled from record data and neither represent a boundary survey nor the actual location of same.
- 2. Contractor shall verify grades, property lines and improvement locations prior to construction.
- 3. Contractor shall protect existing plants to be retained from damage due to construction work or related conditions.
- 4. All pipes carrying roof or ground water in areas not intercepting water shall be solid.
- 5. Contractor shall locate and protect existing utilities from damage due to construction work or related conditions.
- 6. All on—site sewer, water and gas construction shall conform to the latest edition of the California Plumbing Code (CPC) and any and all other requirements as adopted by the local building department and all other agencies having jurisdiction.

EXISTING CONDITIONS

- 1. Existing elements shown on these plans represent assumed conditions based on existing plans, if made available, documentation by others and known standard construction practices. It is not warranted that the conditions shown are totally representative of those existing. Owner and contractor shall investigate existing conditions prior to start of construction.
- 2. Owner and contractor should be aware that exposed conditions may differ from those which are concealed by finishes, occur below grade or are subject to changes due to time, environment or modification by others.
- 3. Existing conditions indicated as existing (E) or verify in field (V.I.F.) require that the contractor either verify the presence of such conditions, provide new materials to create such conditions, or notify Architect of conflicting condition.
- 4. Owner and contractor shall immediately consult with the Architect where visual observation or demolition exposes existing conditions which conflict with the construction documents or reveal damaged or deteriorated structural or architectural elements that are to remain as part of the finished product.
- 5. Owner or contractor should notify local governing authority if visual inspection or demolition reveals the presence of hazardous materials in any form at the project site, including but not limited to, asbestos, asbestos products, PCB's or other toxic substances.
- 6. Contractor is responsible for the design of all temporary shoring and bracing of the existing structure during construction.
- 7. Demolition plans are to assist the contractor in the general determination of those items to be removed and relocated. Contractor is to review all drawings and specifications to determine the complete scope of demolition.
- 8. The contractor shall be responsible for repairing all damage to existing items to remain as part of the expansion and remodeling.

FLOOR PLAN NOTES

- 1. Stair riser heights shall be between a minimum of 4" and a maximum of 7.75", with a maximum variation between riser heights of 3/8". Stair treads shall be no less than 10" minimum in depth. Provide 3/4"minimum 1 1/4" maximum nosing if tread is less than 11" wide. (CBC Sec. 1009.3 Exc. 4) Handrails shall be between a minimum of 34" and a maximum of 38" above tread nosing. Stair width shall be a minimum of 36" and minimum headroom clearance shall be 6'-8". (CBC 1009.2)
- Guardrails shall have a minimum height of 36", with a 4" maximum opening (CBC Chapter 10)
- 2. Exterior windows/doors added and/or replaced shall have a fenestration U-factor of 0.57 or less.
- 3. Showers and tubs with showers require a smooth, hard, non-absorbent surface over a moisture resistant underlayment up to 70" above the drain inlet. (CBC Sec. 1210.3, CPC Sec. 412.7) Provide cement, fiber-cement or glass-mat gypsum backing board for tiles at bath and shower. (CBC Sec. 2009.2)
- 4. Provide pressure—balance or thermostatic mixing valve controls (CPC 418.0) Shower compartment, regardless of shape, shall have a minimum finished interior of 1024 square inches and shall also be capable of encompassing a 30" diameter circle. These dimensions to be kept for a minimum 70" above the drain outlet. (CPC 411.7)
- 5. Provide curtain rod or approved enclosure material, Shower doors shall swing outwards and maintain 22" opening for egress. Shower and/or tub enclosures shall be tempered glazing or other approved shatter—proof material specifically for the use. (CBC Sec. 2406.3 & CPC 411.6)
- Pre-manufactured items including, but not limited to, fireplaces, wood-burning stoves, fixtures, equipment and appliances shall be installed as per manufacturer's specifications.
- 7. Water closets shall be located in a space not less than 30" clear in width with 24" minimum clearance in front (CPC 407.6)
- 8. Contractor shall verify in field (V.I.F.) exact window dimensions, rough opening sizes and all glazing requirements prior to placing order with window manufacturer.
- 9. See also Title 24 energy compliance documents for additional information, requirements and mandatory energy compliance

MARK	DATE	DESCRIPTION

emmon-Woodruff Architecture, I

826 St. Helena Avenue Santa Rosa, CA 95404

Tel: 707-578-6393

Fax: 707-578-4738

www.lwarch.com

CONSULTANT

No. C19290
REN. 12-09
A/3/2009

PROJECT FOR

LARRY BALLARD &

CLAUDETTE BIDGOOD

PROJECT NAME

BALLARD—BIDGOOD KITCHEN ADDITION

PROJECT ADDRESS

875 Oregon St Sonoma CA 95476

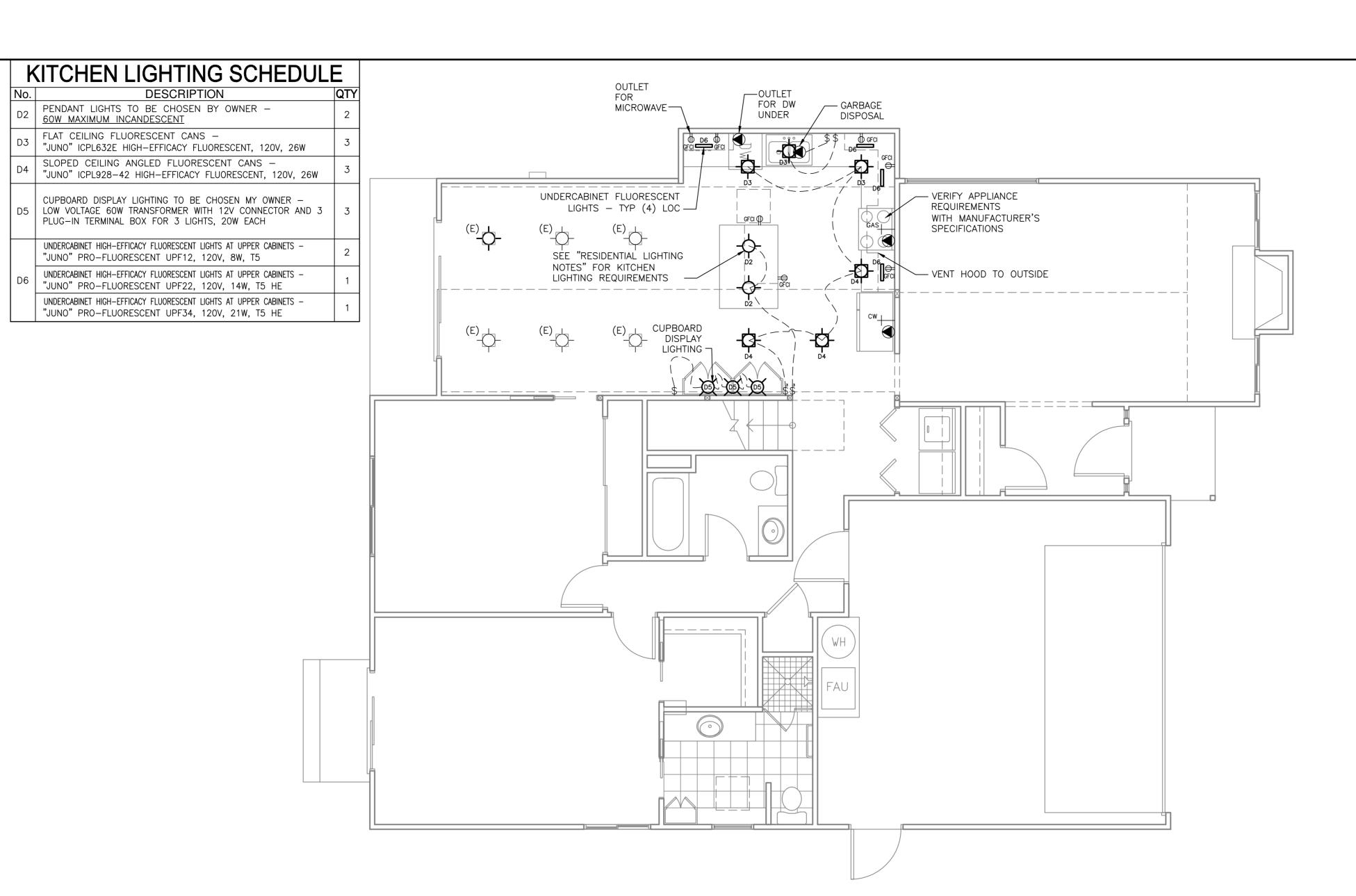
SITE PLAN & FLOOR PLANS

OWNER'S PROJECT NUMBER

PROPERTY NUMBER DEVELOPMENT NUMBER APN 018-750-027

DRAWN CHECKED

ı	EP	MSW
l	DATE 4/13/2009	SHEET NUMBER
l	SCALE AS SHOWN	A1.0
	JOB NUMBER 0905	SHEET - OF -



NEW KITCHEN ELECTRICAL FLOOR PLAN

ELECTRICAL, MECHANICAL AND PLUMBING NOTES

- 1. Do not install electrical panels larger than 100 sq. in. in fire walls. Never install electrical panels in closets. Place nothing within 36" of the front of panels.
- 2. Recessed luminaries in insulated ceilings shall be rated for zero clearance insulation cover (IC), and shall include a laboratifying air—tight (Al) designation.
- 3. Provide a minimum of one 20 amp receptacle to be used as a laundry receptacle. (CEC Sec. 210.52(F))
- Provide time—delay fuse or circuit breaker and separate circuit for washer and dryer.
- 5. Outlets in bathrooms shall be supplied by at least one 20—amp branch circuit. Such circuits shall have no other outlets. (CEC Sec. 210.11(C)(3))
- 6. Light fixtures in tub and shower areas shall be labeled "suitable for damp locations."
- 7. Kitchens must have a minimum of two 20 amp circuits. (CEC Sec. 210.52(B))
 Kitchen counter outlets must be installed in every counter space 12" or wider, not greater than 4' o.c. and within 24" of the end of any counter space.
- 8. GFCI outlets must be installed within 6' of kitchen sinks, in bathrooms, in underfloor spaces, in exterior outlets with direct access to grade and in all garage outlets not dedicated to a single device or appliance.

 Provide at least one exterior outlet. (CEC Sec. 210.8(A))
- 9. Receptacles must be installed at 12' o.c. maximum in walls and 6' from the end of a wall. (CEC Sec. 210.52(Z)) Walls longer than 2' and halls 10' or longer must have a receptacle. (CEC Sec. 210.52(A) & (H))
- 10. A smoke alarm (detector) shall be located in each sleeping room, in each corridor outside of bedrooms and on each floor and basement (if any) except for alterations or repairs not exceeding \$1,000. (CBC Sec. 907.2.10.1.2)

 New smoke alarms (detectors) shall receive their primary power from the building wiring and shall be equipped with a battery backup. (CBC Sec.907.2.10.2)

 All smoke alarms (detectors) shall sound an alarm audible to all sleeping areas. (CBC Sec. 907.2.10.3)
- 11. Provide dryer vent to outside air, it shall not exceed a combined horizontal and vertical length of 14' including up to two 90d angles, reduce allowed length by two feet for every 90d elbow beyond the allowed two. (CMC 504.3 & 503.3.2)

 Flexible duct connectors of not more than 6' is allowed but shall not be concealed within construction. (CMC
- 12. Water closets, either flush tank, flushometer tank, or flushometer valve operated, shall have an average consumption of not more than 1.6 gallons of water per
- 13. Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of an approved type.
- 14. Fan & duct opening (environmental air ducts) shall terminate at least 3' from property lines or openings into the building. Plumbing vents within 10' of operable skylights shall extend a minimum of 3' above such openings. (CMC Sec.504.5, CPC Sec. 906.2)
- 15. Plumbing contractor shall consolidate vents into a minimal amount of roof penetrations.
- Provide all trim necessary for the correct operation of all fixtures and equipment.
- 17. Provide ventilation for products of combustion to outside air.
- 18. Electrical, Mechanical and Plumbing Plan is diagrammatic and illustrates the intent of the design. Contractor shall ensure that all related work conforms to the requirements of the local regulatory agencies having jurisdiction.

RESIDENTIAL LIGHTING NOTES FOR ENERGY CODE 2005

KITCHENS

504.3.2.1)

flush. (CPC 402.2)

- At least half the input lighting watts in kitchens must be consumed by high efficacy luminaries.
- 2. High-efficacy fixtures and non-high efficacy fixtures shall be switched separately.

BATHROOMS, GARAGES, LAUNDRY ROOMS AND/OR UTILITY ROOMS

 Lighting in bathrooms, garages, laundry rooms and/or utility rooms shall be high efficacy, or must be controlled by a manual—on occupant sensor. These two features may be mixed and matched on separate circuits, and must have their own switching.

OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS)

- Permanently installed lighting in other rooms must be high efficacy, or a manual on occupant sensor, or a dimmer must control it.
- Exception: Permanently installed luminaires that are not high efficacy luminaires are allowed in closets less than 70 square feet and may be controlled by any type of switching.
- OUTDOOR LIGHTING
- 1. Outdoor lighting attached to a building shall be high efficacy, or controlled by a motion sensor with integral photo control. Motion sensors used in conjunction with outdoor lighting luminaires should have the capability of turning the lights on automatically. Lighting around swimming pools, water features, or other locations subject to Article 680 of the California Electric Code are exempt.
- Motion sensors and photo controls shall have an indicator that visibly or audibly informs the operator that the controls are operating properly, or that they have failed or malfunctioned.

5 l	MARK	DATE	DESCRIPTION
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826 St. Helena Avenue Santa Rosa, CA 95404

Tel: 707-578-6393 Fax: 707-578-4738 www.lwarch.com

CONSULTANT

No. C19290
REN. 12-09
A/|3/2009

LARRY BALLARD &

CLAUDETTE BIDGOOD

PROJECT FOR

PROJECT NAME

KITCHEN ADDITION

BALLARD-BIDGOOD

PROJECT ADDRESS

875 Oregon St ma CA 95476

SHEET TITLE

ELECTRICAL FLOOR PLAN

OWNER'S PROJECT NUMBER

PROPERTY NUMBER DEVELOPMENT NUMBER APN 018-750-027

PRAWN P	CHECKED MSW
ATE -/13/2009	SHEET NUMBER
SCALE S SHOWN	E1.0
OB NUMBER 905	SHEET - OF -



CHECKED SHEET NUMBER A2.0 JOB NUMBER 0905 SHEET - OF -

PROPERTY NUMBER DEVELOPMENT NUMBER APN 018-750-027

OWNER'S PROJECT NUMBER

EXISTING ELEVATIONS

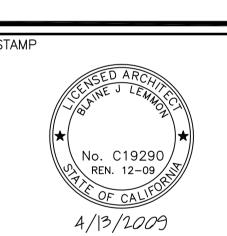
PROJECT ADDRESS

BALLARD—BIDGOOD KITCHEN ADDITION

PROJECT NAME

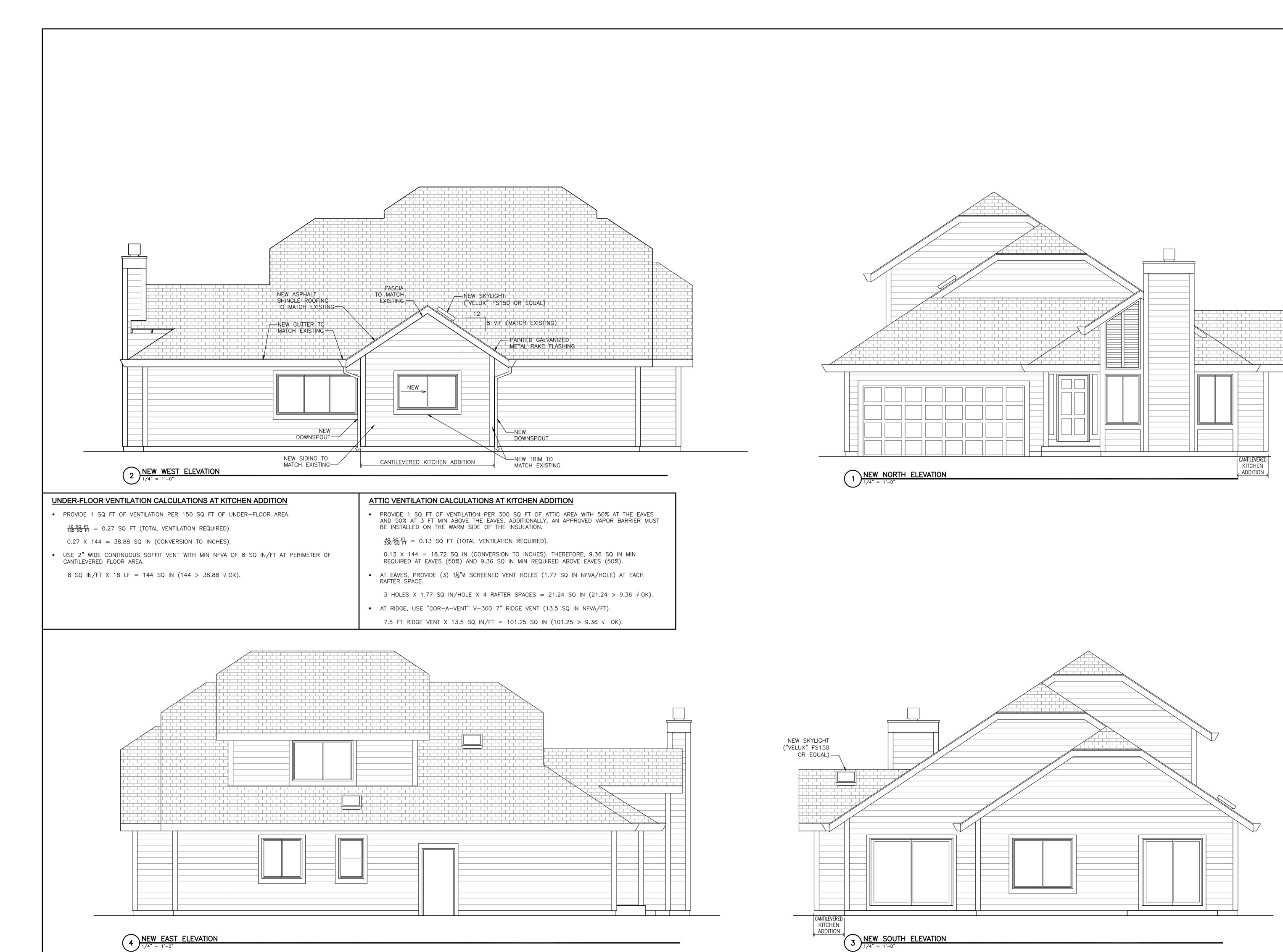
LARRY BALLARD & CLAUDETTE BIDGOOD

PROJECT FOR



CONSULTANT

//ARK	DATE	DESCRIPTION



DESCRIPTION

Lemmon-Woodruff Architecture, Inc. ARCHITECTURE, PLANNING AND DEVELOPMENT

Tel: 707-578-6393 Fax: 707-578-4738

826 St. Helena Avenue Santa Rosa, CA 95404

www.lwarch.com

CONSULTANT

O REN. 12-09 4/13/2009

PROJECT FOR LARRY BALLARD & CLAUDETTE BIDGOOD

PROJECT NAME

BALLARD-BIDGOOD KITCHEN ADDITION

PROJECT ADDRESS

875 Oregon St Sonoma

SHEET TITLE

NEW ELEVATIONS

WNER'S PROJECT NUMBER

PROPERTY NUMBER DEVELOPMENT NUMBER APN 018-750-027 DRAWN CHECKED SHEET NUMBER 4/13/2009

SCALE AS SHOWN JOB NUMBER SHEET - OF -