



**Title 24
Energy Compliance
Documentation**
Job No: **2009-048**

project: Ballard/Bidgood Residence Alteration
location: 875 Oregon St., Sonoma, CA
designer: Lemmon-Woodruff Architecture, Inc.
date: 4/13/2009

Method of Compliance: Prescriptive approach for alterations (Climate Zone 2) showing that this project is in compliance with the 2005 edition of the California Residential Energy Standards when built as documented in this submittal.

Summary: The prescriptive approach in this climate zone has R-13 walls, R-30 roof/ceiling, R-19 floor and allows 50 sq. ft. of additional standard glazing to be added to the existing house. This report shows compliance on the CF-1R form, with the newly added glass area being 21 sq. ft. There are no other changes, except for kitchen lighting, which is addressed in the addition's compliance package. The specific compliance package requirements are shown in the tables below.

Specific Requirements: (must also conform to all applicable Mandatory Measures on Form MF-1)

ADDITION	
INSULATION: Existing, no change.	HEATING/AC/DUCTING: Existing no change.
GLAZING: All glass is double pane, vinyl and wood frame, NRC tested assemblies with low solar gain low-E glass.	WATER HEATING: Existing no change
Note: Glass U-values and solar heat gain coefficients (SHGC's) are per the default values given in Tables G-4 & G-8 of the Residential Energy Manual or per the NRC tested values published by the manufacturer.	HOUSEWRAP: NA
Note: Maximum allowed glazing U-values are as follows: operable = 0.39; skylight = 0.49.	RADIANT BARRIER: NA
Maximum allowed Solar Heat Gain Coefficients (SHGC's) are as follows: operable = 0.32; skylight = 0.30.	

CERTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHOD CF-1R Page 1
Project Title..... Ballard Residence Alteration Date..04/21/09
Project Address..... 875 Oregon St.
Documentation Author... Skeer
Skeer Save Energy Consulting
10555 Chalk Hill Rd.
Healdsburg, CA 95448
707-838-8505
Climate Zone..... 02
Compliance Method..... Prescriptive Pkg. For Additions 100 sq.ft or less.

GENERAL INFORMATION
HERS Verification..... Not Required
Conditioned Floor Area..... 1983
Building Type..... Single Family Detached
Construction Type..... New
Building Front Orientation. Front Facing (SE)
Number of Dwelling Units... 1.0
Number of Building Stories. 1
Floor Construction Type... Raised Floor
Number of Building Zones... 1
Slab-On-Grade Area..... 0 sf
Newly Added Glazing Area... 11.0 sf

OPAQUE SURFACES
Existing no change.

FENESTRATION SURFACES

Orientation	Added Area (sf)	U-factor	SHGC	Azm	Tilt	Exterior Shade Type	Location/Comments
Wind Front	1.0	0.390	0.320	315	90	Standard Vinyl	Oper.LowE
Door Left	10.0	0.390	0.320	315	90	Standard Vinyl	Oper.LowE
Skylt Front	4.0	0.490	0.300	315	90	Standard Wood	Oper.LowE
Skylt Back	6.0	0.490	0.300	315	90	Standard Wood	Oper.LowE
Total= 21.0*							

*50 sq.ft. allowed.

CERTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHOD CF-1R Page 2
Project Title..... Ballard Residence Alteration Date..04/21/09

Existing no change. HVAC SYSTEMS Verified

Existing no change. DUCT SYSTEMS

Existing no change. WATER HEATING SYSTEMS

NA REMARKS

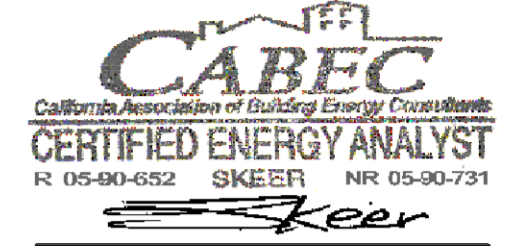
CERTIFICATE OF COMPLIANCE: RESIDENTIAL COMPUTER METHOD CF-1R Page 3
Project Title..... Ballard Residence Alteration Date..04/21/09

COMPLIANCE STATEMENT
This certificate of compliance lists the building features and performance specifications needed to comply with Title-24, Parts 1 and 6 of the California Code of Regulations, and the administrative regulations to implement them. This certificate has been signed by the individual with overall design responsibility.

DESIGNER or OWNER Name... Lemmon/Woodruff Archtct. Company... Lemmon/Woodruff Archtct. Address... Phone... 707-578-6393 License... Signed... (date)

DOCUMENTATION AUTHOR Name... Skeer Company... Save Energy Consulting Address... 10555 Chalk Hill Road Healdsburg, CA 95448 Phone... 707-838-8505 Signed... (date)

ENFORCEMENT AGENCY Name... Title... Agency... Phone... Signed... (date)



MARK	DATE	DESCRIPTION
1	4/21/09	PLAN CHECK CORRECTIONS

Lemmon-Woodruff Architecture, Inc.
ARCHITECTURE, PLANNING AND DEVELOPMENT

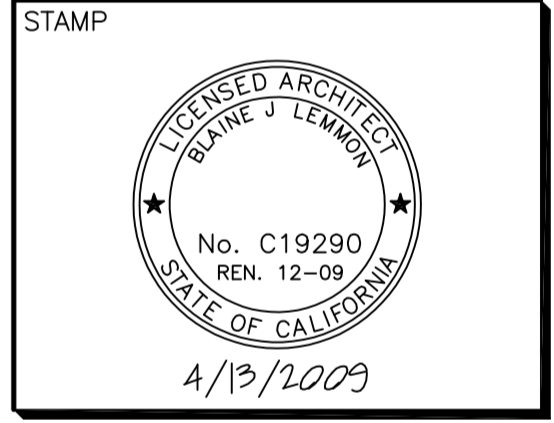
826 St. Helena Avenue
Santa Rosa, CA 95404
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www.lwarch.com

MANDATORY MEASURES CHECKLIST: RESIDENTIAL MF-1R.1

Note: Lowrise residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. More stringent compliance requirements from the Certificate of Compliance supersede the items marked with an asterisk (*). When this checklist is incorporated into the permit documents, the features noted shall be considered by all parties as minimum component performance specifications for the mandatory measures whether they are shown elsewhere in the documents or on this checklist only.

MEASURE	De- sign- n/a	En- sign- n/a	En- sign- n/a
BUILDING ENVELOPE MEASURES			
116-17: Penetration Products, Exterior Doors and Infiltration/Infiltration Controls			
1. Doors and windows between conditioned and unconditioned spaces designed to limit air leakage		✓	
2. Penetration products (except field-fabricated) have label with certified U-factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration certification		✓	
3. Exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed		✓	
RESIDENTIAL LIGHTING MEASURES			
150(k)1: HIGH EFFICACY LUMINAIRES OTHER THAN OUTDOOR HID: contain only high efficacy lamps as outlined in Table 150-C, and do not contain a medium screw base socket (E24/E26). Ballast for lamps 13 watts or greater are electronic and have an output frequency no less than 20 kHz		✓	
150(k)1: HIGH EFFICACY LUMINAIRES - OUTDOOR HID: contain only high efficacy lamps as outlined in Table 150-C, luminaire has factory installed HID ballast			
150(k)2: Permanently installed luminaires in kitchens shall be high efficacy luminaires. Up to 50 percent of the wattage, as determined in Sec. 130(c), of permanently installed luminaires in kitchens may be in luminaires that are not high efficacy luminaires, provided that these luminaires are controlled by switches separate from those controlling the high efficacy luminaires		✓	
150(k)3: Permanently installed luminaires in bathrooms, garages, laundry rooms, utility rooms shall be high efficacy luminaires OR are controlled by an occupant sensor(s) certified to comply with Section 119(d) that does not turn on automatically or have an always on option			
150(k)4: Permanently installed luminaires located other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires (except closets less than 70 ft2), OR are controlled by a dimmer switch OR are controlled by an occupant sensor(s) that complies with Section 119(d) that does not turn on automatically or have an always on option			
150(k)5: Luminaires that are recessed into insulated ceilings are approved for zero clearance insulation cover (IC) and are certified air tight to ASTM E283 and labeled as air tight (AT) to less than 2.0 CFM at 75 Pascals		✓	

CONSULTANT



PROJECT FOR
LARRY BALLARD & CLAUDETTE BIDGOOD

PROJECT NAME
BALLARD-BIDGOOD KITCHEN ADDITION

PROJECT ADDRESS
875 Oregon St
Sonoma CA 95476

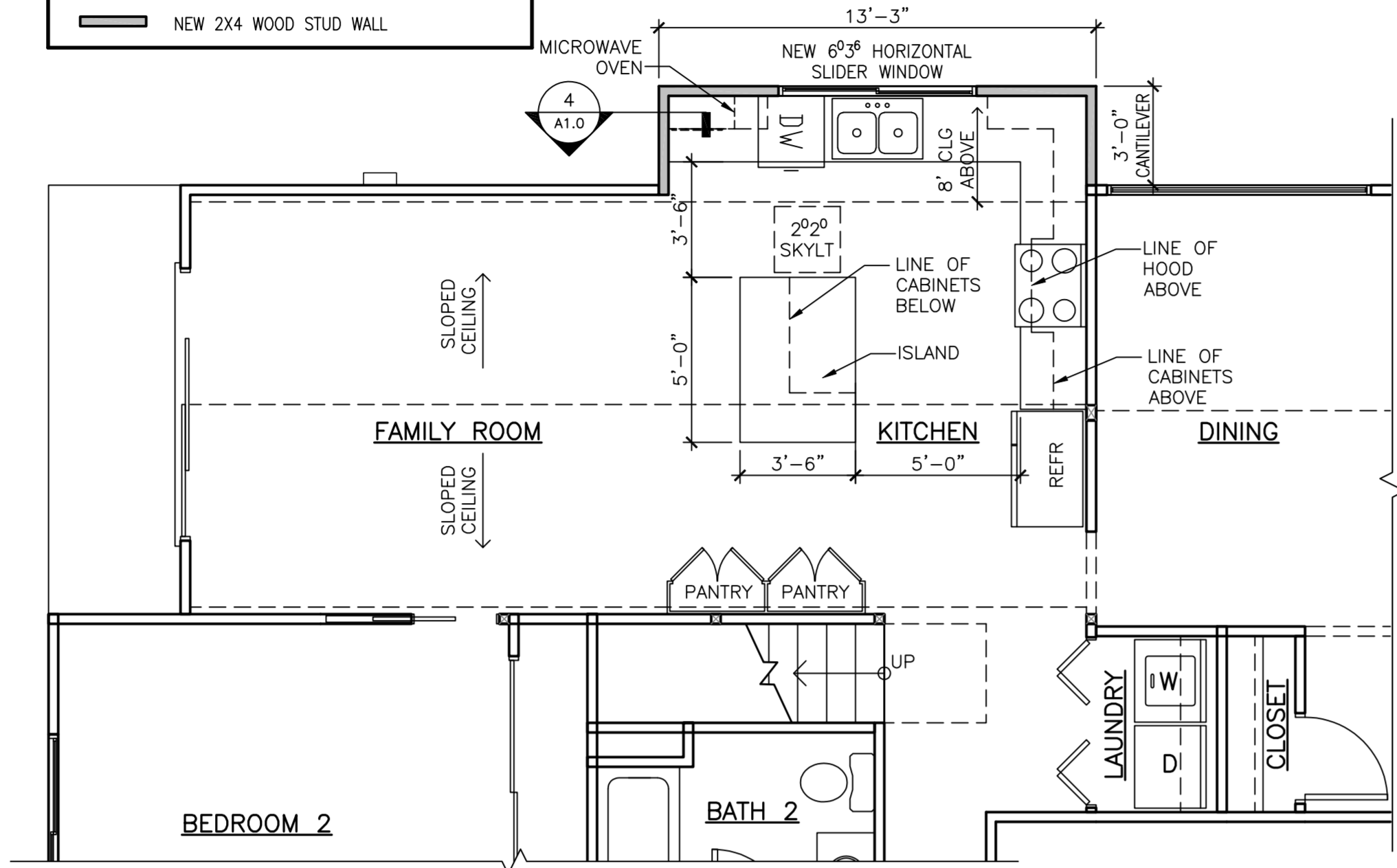
SHEET TITLE
TITLE 24 DOCUMENTATION - ALTERATION

OWNER'S PROJECT NUMBER
PROPERTY NUMBER: APN 018-750-027 DEVELOPMENT NUMBER

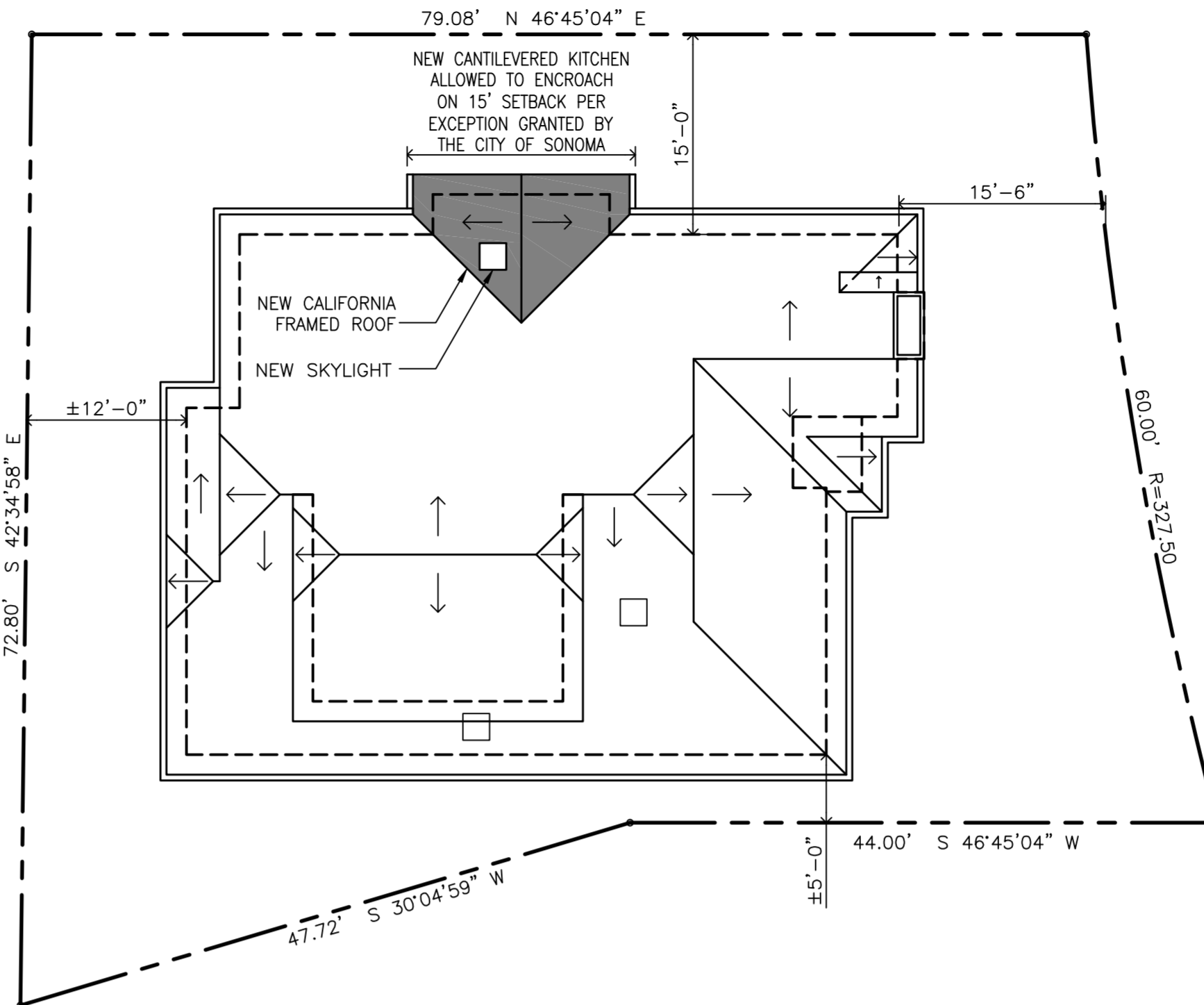
DRAWN: EP CHECKED: MSW
DATE: 4/13/2009 SHEET NUMBER
SCALE: AS SHOWN
JOB NUMBER: 0905 SHEET - OF -

G0.2

WALL TYPE LEGEND	
	EXISTING WOOD STUD WALL TO REMAIN
	NEW 2X4 WOOD STUD WALL



3 PARTIAL NEW FLOOR PLAN
1/4" = 1'-0"



1 SITE PLAN
1" = 10'

SITE PLAN NOTES

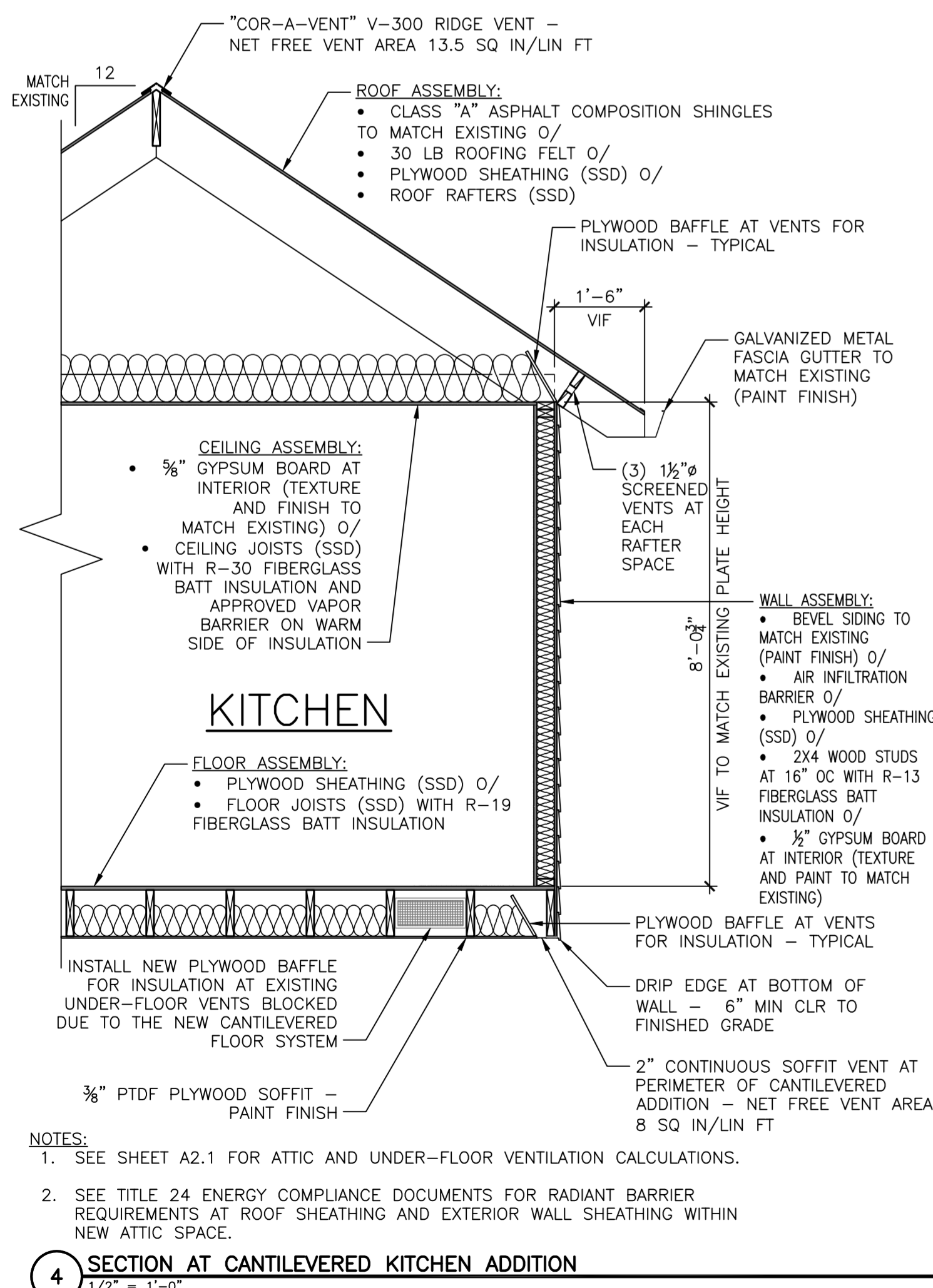
- The property lines shown herein are compiled from record data and neither represent a boundary survey nor the actual location of same.
- Contractor shall verify grades, property lines and improvement locations prior to construction.
- Contractor shall protect existing plants to be retained from damage due to construction work or related conditions.
- All pipes carrying roof or ground water in areas not intercepting water shall be solid.
- Contractor shall locate and protect existing utilities from damage due to construction work or related conditions.
- All on-site sewer, water and gas construction shall conform to the latest edition of the California Plumbing Code (CPC) and any and all other requirements as adopted by the local building department and all other agencies having jurisdiction.

EXISTING CONDITIONS

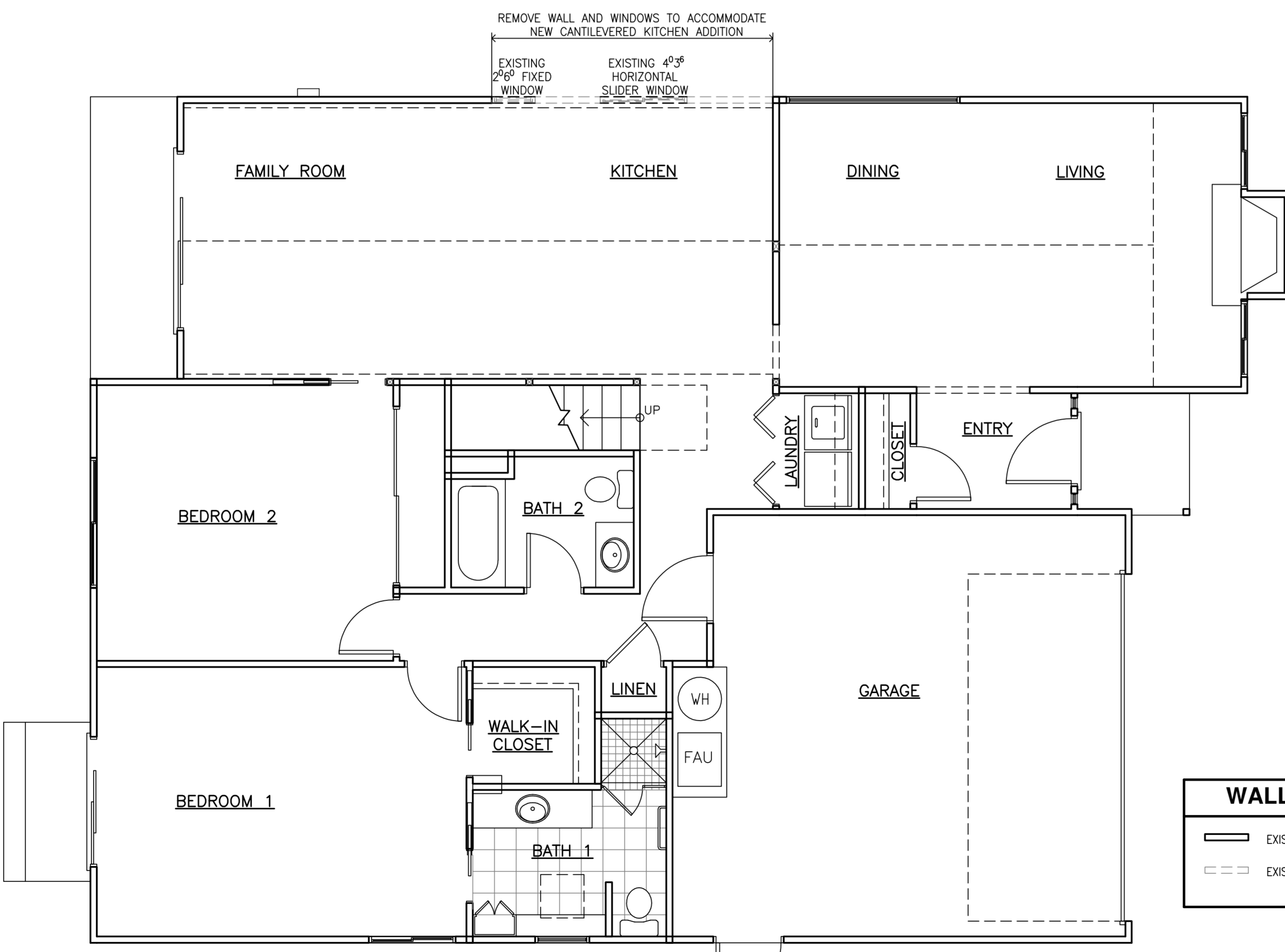
- Existing elements shown on these plans represent assumed conditions based on existing plans, if made available, documentation by others and known standard construction practices. It is not warranted that the conditions shown are totally representative of those existing. Owner and contractor shall investigate existing conditions prior to start of construction.
- Owner and contractor should be aware that exposed conditions may differ from those which are concealed by finishes, occur below grade or are subject to changes due to time, environment or modification by others.
- Existing conditions indicated as existing (E) or verify in field (V.I.F.) require that the contractor either verify the presence of such conditions, provide new materials to create such conditions, or notify Architect of conflicting condition.
- Owner and contractor shall immediately consult with the Architect where visual observation or demolition exposes existing conditions which conflict with the construction documents or reveal damaged or deteriorated structural or architectural elements that are to remain as part of the finished product.
- Owner or contractor should notify local governing authority if visual inspection or demolition reveals the presence of hazardous materials in any form at the project site, including but not limited to, asbestos, asbestos products, PCB's or other toxic substances.
- Contractor is responsible for the design of all temporary shoring and bracing of the existing structure during construction.
- Demolition plans are to assist the contractor in the general determination of those items to be removed and relocated. Contractor is to review all drawings and specifications to determine the complete scope of demolition.
- The contractor shall be responsible for repairing all damage to existing items to remain as part of the expansion and remodeling.

FLOOR PLAN NOTES

- Stair riser heights shall be between a minimum of 4" and a maximum of 7.75", with a maximum variation between riser heights of 3/8". Stair treads shall be no less than 10" minimum in depth. Provide 3/4" minimum - 1 1/4" maximum nosing if tread is less than 11" wide. (CBC Sec. 1009.3 Exc. 4) Handrails shall be between a minimum of 34" and a maximum of 38" above tread nosing. Stair width shall be a minimum of 36" and minimum headroom clearance shall be 6'-8". (CBC 1009.2) Guardrails shall have a minimum height of 36", with a 4" maximum opening (CBC Chapter 10)
- Exterior windows/doors added and/or replaced shall have a fenestration U-factor of 0.57 or less.
- Showers and tubs with showers require a smooth, hard, non-absorbent surface over a moisture resistant underlayment up to 70" above the drain inlet. (CBC Sec. 1210.3, CPC Sec. 412.7) Provide cement, fiber-cement or glass-mat gypsum backing board for tiles at both and shower. (CBC Sec. 2009.2)
- Provide pressure-balance or thermostatic mixing valve controls. (CPC 418.0) Shower compartment, regardless of shape, shall have a minimum finished interior of 1024 square inches and shall also be capable of encompassing a 30" diameter circle. These dimensions to be kept for a minimum 70" above the drain outlet. (CPC 411.7)
- Provide curtain rod or approved enclosure material. Shower doors shall swing outwards and maintain 22" opening for egress. Shower and/or tub enclosures shall be tempered glazing or other approved shatter-proof material specifically for the use. (CBC Sec. 2406.3 & CPC 411.6)
- Pre-manufactured items including, but not limited to, fireplaces, wood-burning stoves, fixtures, equipment and appliances shall be installed as per manufacturer's specifications.
- Water closets shall be located in a space not less than 30" clear in width with 24" minimum clearance in front (CPC 407.6)
- Contractor shall verify in field (V.I.F.) exact window dimensions, rough opening sizes and all glazing requirements prior to placing order with window manufacturer.
- See also Title 24 energy compliance documents for additional information, requirements and mandatory energy compliance accessories.



4 SECTION AT CANTILEVERED KITCHEN ADDITION
1/2" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

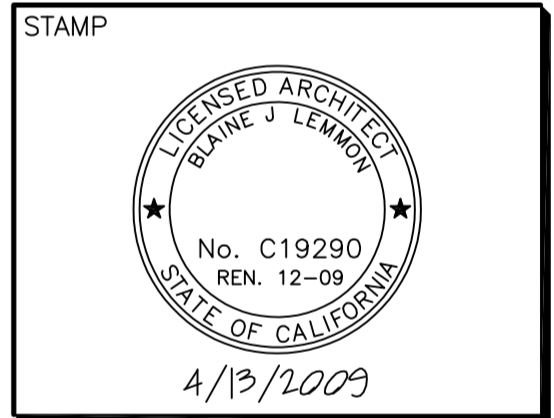
WALL TYPE LEGEND	
	EXISTING WOOD STUD WALL TO REMAIN
	EXISTING ELEMENT TO BE REMOVED

MARK	DATE	DESCRIPTION

Lemmon-Woodruff Architecture, Inc.
ARCHITECTURE, PLANNING AND DEVELOPMENT

826 St. Helena Avenue
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CONSULTANT



PROJECT FOR
LARRY BALLARD & CLAUDETTE BIDGOOD

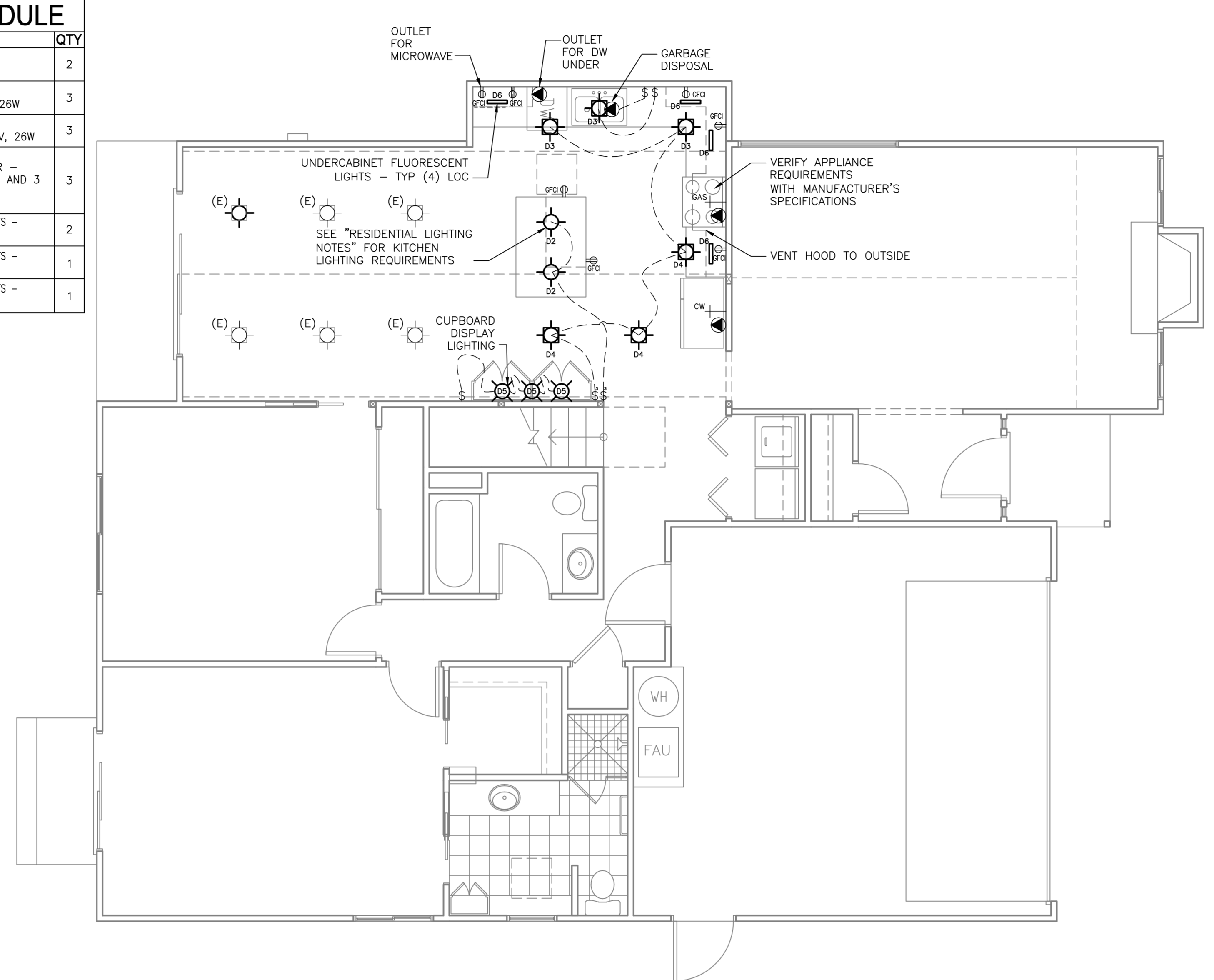
PROJECT NAME
BALLARD-BIDGOOD KITCHEN ADDITION

PROJECT ADDRESS
**875 Oregon St
Sonoma CA 95476**

SITE PLAN & FLOOR PLANS

OWNER'S PROJECT NUMBER	
PROPERTY NUMBER APN 018-750-027	DEVELOPMENT NUMBER
DRAWN EP	CHECKED MSW
DATE 4/13/2009	SHEET NUMBER
SCALE AS SHOWN	A1.0
JOB NUMBER 0905	SHEET - OF -

KITCHEN LIGHTING SCHEDULE		
No.	DESCRIPTION	QTY
D2	PENDANT LIGHTS TO BE CHOSEN BY OWNER - 60W MAXIMUM INCANDESCENT	2
D3	FLAT CEILING FLUORESCENT CANS - "JUNO" ICPL632E HIGH-EFFICACY FLUORESCENT, 120V, 26W	3
D4	SLOPED CEILING ANGLED FLUORESCENT CANS - "JUNO" ICPL928-42 HIGH-EFFICACY FLUORESCENT, 120V, 26W	3
D5	CUPBOARD DISPLAY LIGHTING TO BE CHOSEN BY OWNER - LOW VOLTAGE 60W TRANSFORMER WITH 12V CONNECTOR AND 3 PLUG-IN TERMINAL BOX FOR 3 LIGHTS, 20W EACH	3
D6	UNDERCABINET HIGH-EFFICACY FLUORESCENT LIGHTS AT UPPER CABINETS - "JUNO" PRO-FLUORESCENT UPF12, 120V, 8W, T5	2
	UNDERCABINET HIGH-EFFICACY FLUORESCENT LIGHTS AT UPPER CABINETS - "JUNO" PRO-FLUORESCENT UPF22, 120V, 14W, T5 HE	1
	UNDERCABINET HIGH-EFFICACY FLUORESCENT LIGHTS AT UPPER CABINETS - "JUNO" PRO-FLUORESCENT UPF34, 120V, 21W, T5 HE	1



1 NEW KITCHEN ELECTRICAL FLOOR PLAN
1/4" = 1'-0"

ELECTRICAL, MECHANICAL AND PLUMBING NOTES

- Do not install electrical panels larger than 100 sq. in. in fire walls. Never install electrical panels in closets. Place nothing within 36" of the front of panels.
- Recessed luminaires in insulated ceilings shall be rated for zero clearance insulation cover (IC), and shall include a label certifying air-tight (A) designation.
- Provide a minimum of one 20 amp receptacle to be used as a laundry receptacle. (CEC Sec. 210.52(F))
- Provide time-delay fuse or circuit breaker and separate circuit for washer and dryer.
- Outlets in bathrooms shall be supplied by at least one 20-amp branch circuit. Such circuits shall have no other outlets. (CEC Sec. 210.11(C)(3))
- Light fixtures in tub and shower areas shall be labeled "suitable for damp locations."
- Kitchens must have a minimum of two 20 amp circuits. (CEC Sec. 210.52(B))
Kitchen counter outlets must be installed in every counter space 12" or wider, not greater than 4" o.c. and within 24" of the end of any counter space.
- GFCI outlets must be installed within 6' of kitchen sinks, in bathrooms, in underfloor spaces, in exterior outlets with direct access to grade and in all garage outlets not dedicated to a single device or appliance.
Provide at least one exterior outlet. (CEC Sec. 210.8(A))
- Receptacles must be installed at 12' o.c. maximum in walls and 6' from the end of a wall. (CEC Sec. 210.52(Z)) Walls longer than 2' and halls 10' or longer must have a receptacle. (CEC Sec. 210.52(A) & (H))
- A smoke alarm (detector) shall be located in each sleeping room, in each corridor outside of bedrooms and on each floor and basement (if any) except for alterations or repairs not exceeding \$1,000. (CBC Sec. 907.2.10.1.2)
New smoke alarms (detectors) shall receive their primary power from the building wiring and shall be equipped with a battery backup. (CBC Sec. 907.2.10.2)
All smoke alarms (detectors) shall sound an alarm audible to all sleeping areas. (CBC Sec. 907.2.10.3)
- Provide dryer vent to outside air, it shall not exceed a combined horizontal and vertical length of 14' including up to two 90d angles, reduce allowed length by two feet for every 90d elbow beyond the allowed two. (CMC 504.3 & 503.3.2)
Flexible duct connectors of not more than 6' is allowed but shall not be concealed within construction. (CMC 504.3.2.1)
- Water closets, either flush tank, flushometer tank, or flushometer valve operated, shall have an average consumption of not more than 1.6 gallons of water per flush. (CPC 402.2)
- Bond all metal gas and water pipes to ground. All ground clamps must be accessible and of an approved type.
- Fan & duct opening (environmental air ducts) shall terminate at least 3' from property lines or openings into the building. Plumbing vents within 10' of operable skylights shall extend a minimum of 3' above such openings. (CMC Sec. 504.5, CPC Sec. 906.2)
- Plumbing contractor shall consolidate vents into a minimal amount of roof penetrations.
- Provide all trim necessary for the correct operation of all fixtures and equipment.
- Provide ventilation for products of combustion to outside air.

RESIDENTIAL LIGHTING NOTES FOR ENERGY CODE 2005

- KITCHENS**
- At least half the input lighting watts in kitchens must be consumed by high efficacy luminaires.
 - High-efficacy fixtures and non-high efficacy fixtures shall be switched separately.
- BATHROOMS, GARAGES, LAUNDRY ROOMS AND/OR UTILITY ROOMS**
- Lighting in bathrooms, garages, laundry rooms and/or utility rooms shall be high efficacy, or must be controlled by a manual-on occupant sensor. These two features may be mixed and matched on separate circuits, and must have their own switching.
- OTHER ROOMS (HALLWAYS, DINING ROOMS, FAMILY ROOMS AND BEDROOMS)**
- Permanently installed lighting in other rooms must be high efficacy, or a manual on occupant sensor, or a dimmer must control it.
- Exception: Permanently installed luminaires that are not high efficacy luminaires are allowed in closets less than 70 square feet and may be controlled by any type of switching.
- OUTDOOR LIGHTING**
- Outdoor lighting attached to a building shall be high efficacy, or controlled by a motion sensor with integral photo control. Motion sensors used in conjunction with outdoor lighting luminaires should have the capability of turning the lights on automatically. Lighting around swimming pools, water features, or other locations subject to Article 680 of the California Electric Code are exempt.
 - Motion sensors and photo controls shall have an indicator that visibly or audibly informs the operator that the controls are operating properly, or that they have failed or malfunctioned.

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CONSULTANT

STAMP

PROJECT FOR
LARRY BALLARD & CLAUDETTE BIDGOOD

PROJECT NAME
BALLARD-BIDGOOD KITCHEN ADDITION

PROJECT ADDRESS
**875 Oregon St
Sonoma CA 95476**

SHEET TITLE
ELECTRICAL FLOOR PLAN

OWNER'S PROJECT NUMBER
PROPERTY NUMBER: APN 018-750-027 DEVELOPMENT NUMBER

DRAWN: EP CHECKED: MSW
DATE: 4/13/2009 SHEET NUMBER
SCALE: AS SHOWN **E1.0**
JOB NUMBER: 0905 SHEET - OF -



2 EXISTING WEST ELEVATION
1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



4 EXISTING EAST ELEVATION
1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

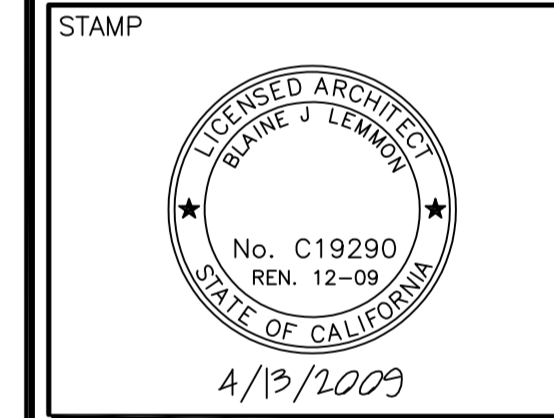
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BALLARD-BIDGOOD KITCHEN ADDITION

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**875 Oregon St
Sonoma CA 95476**

SHEET TITLE
EXISTING ELEVATIONS

OWNER'S PROJECT NUMBER
PROPERTY NUMBER: APN 018-750-027
DEVELOPMENT NUMBER

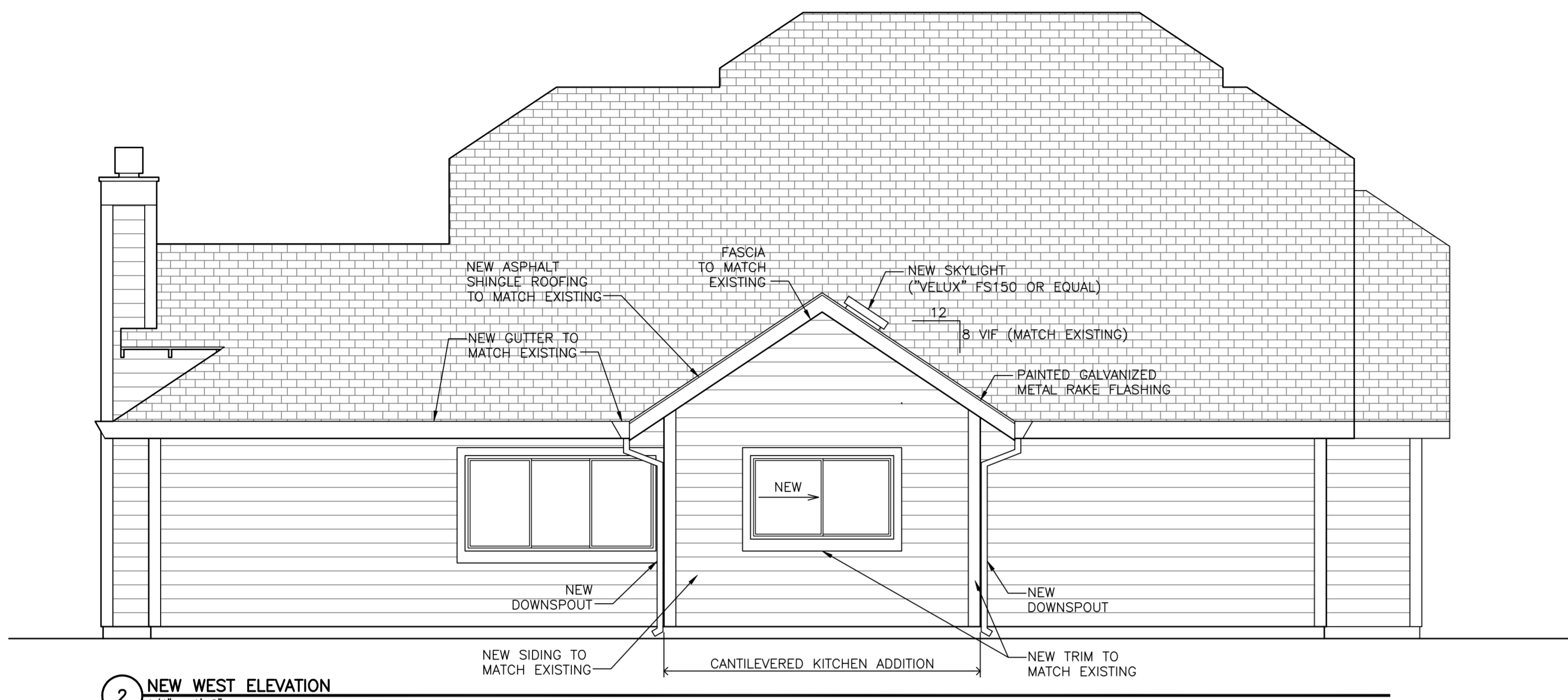
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DATE 4/13/2009	SHEET NUMBER A2.0
SCALE AS SHOWN	JOB NUMBER 0905
SHEET - OF -	

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2 NEW WEST ELEVATION
1/4" = 1'-0"



1 NEW NORTH ELEVATION
1/4" = 1'-0"

UNDER-FLOOR VENTILATION CALCULATIONS AT KITCHEN ADDITION

- PROVIDE 1 SQ FT OF VENTILATION PER 150 SQ FT OF UNDER-FLOOR AREA.
 $\frac{180 \text{ SQ FT}}{150} = 0.27 \text{ SQ FT}$ (TOTAL VENTILATION REQUIRED).
0.27 X 144 = 38.88 SQ IN (CONVERSION TO INCHES).
- USE 2" WIDE CONTINUOUS SOFFIT VENT WITH MIN NFVA OF 8 SQ IN/FT AT PERIMETER OF CANTILEVERED FLOOR AREA.
8 SQ IN/FT X 18 LF = 144 SQ IN (144 > 38.88 ✓ OK).

ATTIC VENTILATION CALCULATIONS AT KITCHEN ADDITION

- PROVIDE 1 SQ FT OF VENTILATION PER 300 SQ FT OF ATTIC AREA WITH 50% AT THE EAVES AND 50% AT 3 FT MIN ABOVE THE EAVES. ADDITIONALLY, AN APPROVED VAPOR BARRIER MUST BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
 $\frac{300 \text{ SQ FT}}{300} = 0.13 \text{ SQ FT}$ (TOTAL VENTILATION REQUIRED).
0.13 X 144 = 18.72 SQ IN (CONVERSION TO INCHES). THEREFORE, 9.36 SQ IN MIN REQUIRED AT EAVES (50%) AND 9.36 SQ IN MIN REQUIRED ABOVE EAVES (50%).
- AT EAVES, PROVIDE (3) 1 1/2" Ø SCREENED VENT HOLES (1.77 SQ IN NFVA/HOLE) AT EACH RAFTER SPACE.
3 HOLES X 1.77 SQ IN/HOLE X 4 RAFTER SPACES = 21.24 SQ IN (21.24 > 9.36 ✓ OK).
- AT RIDGE, USE "COR-A-VENT" V-300 7" RIDGE VENT (13.5 SQ IN NFVA/FT).
7.5 FT RIDGE VENT X 13.5 SQ IN/FT = 101.25 SQ IN (101.25 > 9.36 ✓ OK).

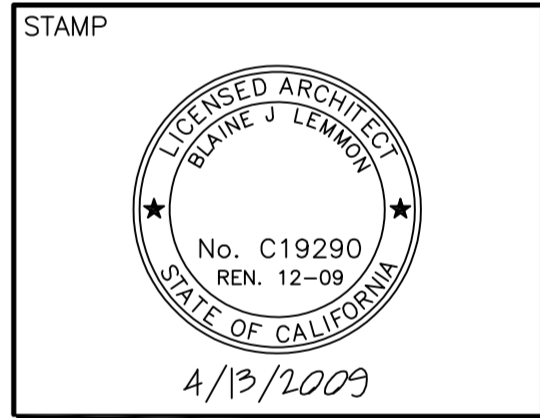


4 NEW EAST ELEVATION
1/4" = 1'-0"



3 NEW SOUTH ELEVATION
1/4" = 1'-0"

CONSULTANT



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LARRY BALLARD & CLAUDETTE BIDGOOD

PROJECT NAME
BALLARD-BIDGOOD KITCHEN ADDITION

PROJECT ADDRESS
**875 Oregon St
Sonoma CA 95476**

SHEET TITLE
NEW ELEVATIONS

OWNER'S PROJECT NUMBER
PROPERTY NUMBER: APN 018-750-027
DEVELOPMENT NUMBER

DRAWN: EP
CHECKED: MSW
DATE: 4/13/2009
SHEET NUMBER: **A2.1**
SCALE: AS SHOWN
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